

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Provincetown

City/Town

Important:
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

Beech Forest Trail & Old Rte. 6/Province Lands Rd.	Provincetown	02657
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:	42.062124/42.045740	-70.192184/-70.214673
	d. Latitude	e. Longitude
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

Jason	Lee	
a. First Name	b. Last Name	
Henry General Contractors, Inc.		
c. Organization		
57 Observer Street		
d. Street Address		
Springfield	MA	01104
e. City/Town	f. State	g. Zip Code
413-301-5655	413-301-8308	jason@henrygeneralcontractors.com
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

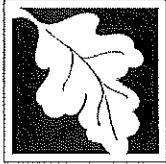
a. First Name	b. Last Name	
USA Cape Cod National Seashore		
c. Organization		
99 Marconi Site Road		
d. Street Address		
Wellfleet	MA	02667
e. City/Town	f. State	g. Zip Code
508-957-0731	508-349-9052	lauren_mckean@nps.gov
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

Lauren	McKean	
a. First Name	b. Last Name	
Cape Cod National Seashore		
c. Company		
as above		
d. Street Address		
e. City/Town	f. State	g. Zip Code
509-8-957-0731	Lauren_McKean@nps.gov	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

220.00	122.50	97.50
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

Beech Forest Trail Widening and Restoration & Old Rte. 6/Province Lands Rd, Bike Trail Construction

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- | | |
|---|---|
| 1. <input type="checkbox"/> Single Family Home | 2. <input type="checkbox"/> Residential Subdivision |
| 3. <input type="checkbox"/> Commercial/Industrial | 4. <input type="checkbox"/> Dock/Pier |
| 5. <input type="checkbox"/> Utilities | 6. <input type="checkbox"/> Coastal engineering Structure |
| 7. <input type="checkbox"/> Agriculture (e.g., cranberries, forestry) | 8. <input type="checkbox"/> Transportation |
| 9. <input checked="" type="checkbox"/> Other | |

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Barnstable

a. County

Numerous parts of land of the USA

b. Certificate # (if registered land)

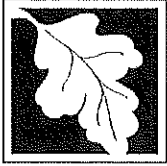
c. Book

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

- f. Riverfront Area
1. Name of Waterway (if available) - specify coastal or inland _____
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

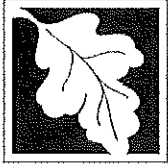
a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete Section B.2.f. above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____ 2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____ 2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above 1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	

4. Restoration/Enhancement

If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

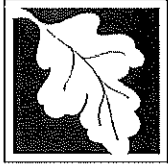
a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Notice of Intent – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

- 1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
 Division of Fisheries and Wildlife
 1 Rabbit Hill Road
 Westborough, MA 01581

August 1, 2021
 b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.1.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

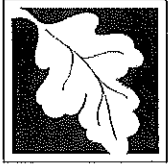
- 1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area < 1% percentage/acreage
 - (b) outside Resource Area < 1% percentage/acreage

2. Assessor's Map or right-of-way plan of site

- 2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
 - (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following

- 1. Project is exempt from MESA review. Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
- 2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
- 3. Separate MESA review completed. Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

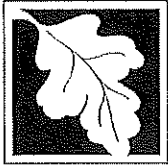
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 1213 Purchase Street – 3rd Floor
 New Bedford, MA 02740-6694
 Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



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C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



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D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

<u>Beech Forest Trail Spur Replacement & Route 6 Bike Trail Connector</u>	
a. Plan Title	
<u>Coastal Engineering</u>	<u>John Bolgna</u>
b. Prepared By	c. Signed and Stamped by
	<u>1:20</u>
d. Final Revision Date	e. Scale
f. Additional Plan or Document Title	
g. Date	

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

<u>7514</u>	<u>2/3/2023</u>
2. Municipal Check Number	3. Check date
<u>7513</u>	<u>2/3/2023</u>
4. State Check Number	5. Check date
<u>Henry General Contractors, Inc.</u>	
6. Payor name on check: First Name	7. Payor name on check: Last Name



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F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

[Handwritten Signature]

1. Signature of Applicant
USA

2/3/2023

2. Date

3. Signature of Property Owner (if different)

Lauren McKean

4. Date

2/3/2023

5. Signature of Representative (if any)

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

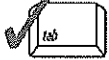
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

Beech Forest Trail & Old Rte. 6/Province Lands	Provincetown
a. Street Address	b. City/Town
	97.50
c. Check number	d. Fee amount

2. Applicant Mailing Address:

Brian	Henry	
a. First Name	b. Last Name	
Henry General Contractors, Inc.		
c. Organization		
57 Observer Street		
d. Mailing Address		
Springfield	MA	01104
e. City/Town	f. State	g. Zip Code
413-301-5655	413-301-8308	brian@henrygeneralcontractors.com
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

a. First Name	b. Last Name	
USA Cape Cod National Seashore		
c. Organization		
99 Marconi Site Road		
d. Mailing Address		
Wellfleet	MA	02667
e. City/Town	f. State	g. Zip Code
508-957-0731	508-349-9052	lauren_mckean@nps.gov
h. Phone Number	i. Fax Number	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
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B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Site work without a house	2	110	220

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	220
State share of filing Fee:	a. Total Fee from Step 5 97.50
City/Town share of filling Fee:	b. 1/2 Total Fee less \$12.50 122.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

Estimated Habitat or Rare Wildlife



NHESP Estimated Habitats of Rare Wildlife



NHESP Priority Habitats of Rare Species



Map Features for Imagery

Beech Forest Trail & Rte. 6/Province Lands Rd. Bike Trails

Project Narrative and Performance Standards

I. Existing Property Description

Beech Forest Trail spur is part of the existing Province Lands bike trail that has been closed for years due to adjacent tree roots pushing up through the ground, resulting in safety hazards for users. The trail, running almost parallel with Race Point Road, extends from the Town of Provincetown Transfer Station entrance to the Beech Forest Parking Lot.

The Rte. 6/Province Lands Road Trail spur does not currently exist but is planned on being installed over the section of asphalt remaining from the old Rte. 6 roadway. The trail segment will then turn onto Province Lands Road and connect up to Herring Cove Beach north parking area.

II. Resource Area

The Northern most end of Beech Forest Trail lies within the buffer zone to a Bordering Vegetated Wetland. Approximately 530 lineal feet of the trail, beginning at Beech Forest Parking Lot is within this buffer zone. No work shall extend from the existing edge of trail, further into the wetland area. All trail widening within this area will be installed away from the wetland area towards Race Point Road.

For the old Route 6 to Herring Cove Beach spur, approximately 230 lineal feet of new trail will be located within the buffer zone to a Bordering Vegetated Wetland, where the trail is to be installed parallel with Province Lands Road. New trail will be installed 2' – 4' from the edge of the paved road of Province Lands Road. Where the new trail will continue onto Province Lands Road, the existing conditions consist of sand, beech grass, and pine trees.

The methodology for locating buffer zones within a Bordering Vegetated Wetland were:

After initial site locus, NHESP map research, and check of the MA DEP Wetland Layers and Web soil Survey website, we used a combination of vegetation and soil indicators in the field to determine the BVW boundary. The dominance test was then used to conduct a vegetative assessment of the wetland/upland indicator plants per DEP recommendations. The dominance test was used to determine whether wetland indicator plants make up 50 percent or more of the vegetative community. The dominance test is a sampling technique that uses dominant plants within an observation plot to determine if the plot is a wetland or an upland. The test uses only the dominant plants in an observation plot since the dominant plants directly influence the composition of the remainder of the vegetation.

Accompanying the vegetation assessment, test pits were dug within the wetland and upland portions of the site using an auger. Soil information was recorded based on the soil profile of each soil horizon, noting the depth, identifying matrix, and any mottles colors by hues, value, and chroma (information used from Munsell Soil Color Charts). This information was used to determine if the soils possessed either hydric or non-hydric indicators.

Following the completion of the delineations, the field notes from the vegetative assessments and soil testing were entered into MassDEP Appendix G field data forms.

III. Project Description

Beech Forest Trail

This project entails reconstructing Beech Forest trail spur to provide a usable trail for visitors without safety risk concerns. The 1/3-mile trail will connect the Province Lands Bicycle Trail at Beech Forest. This much degraded, short section of the Province Lands Bike Trail will be rehabilitated, and a small section will be realigned to bring the trail head to a safer and more accessible location on the transfer station access road or Race Point Road. The spur trail was not rehabilitated when the remainder of the trail was redone in two phases between 2008-20011. Full depth reconstruction is warranted due to pavement decay and tree root penetration.

The project will include widening the existing trail (generally 8' wide) to standard 10-foot width (except adjacent to wetlands) for a multi-use trail; removal of existing trees and shrubs adjacent to the trail; paving/overlaying the entire surface; centerline striping in certain areas; improving drainage in low areas to eliminate pooling of water after rainfall; and replacing/upgrading existing directional and safety signage.

The project begins where the trail leaves the SW corner of the Beech Forest Parking area and continues to where the trail intersects with the road to the Provincetown Transfer Station. The end 20-30' of trail will be relocated to provide a better connection. This section will be located and staked prior to any design work.

Route 6 Bike Trail

This 4/10ths mile trail will connect to downtown Provincetown via Moors Road/aka Province Lands Road. Portions of this trail section will utilize the old roadbed next to Highway 6 from the park boundary west of Shank Painter Road to the intersection with Province Lands Road, and north to the Herring Cove Beach parking lot.

Approximately 800' of the new trail will be built on the old roadbed using the old asphalt and base, if possible, for base of the new trail. Full depth reconstruction may be warranted where the roadbed exists due to pavement decay. The existing old roadbed is wider than the final trail width will be. Removal of excess material beyond the new trail location, and regrading/revegetation will be necessary. This section of trail will result in a

standard 10-foot width with widened 1' compacted gravel shoulders for a multi-use trail; removal of existing trees and shrubs adjacent to the trail/ paving/overlaying the entire surface; centerline striping; improving drainage in low areas to eliminate pooling of water after rainfall; and placing directional and safety signage as needed. The start of this trail section will tie into Rout 6 and will end at the edge of pavement.

Approximately 1100' of the new trail will be parallel to Province Lands Road and will be new trail through forest and sand dune type landscape. The end will tie into the existing roadway and include one motion-activated flashing beacons and crosswalk striping. This section has been located and staked prior to completion of the design. It will result in a new 10' wide section of trail and will also include removal of adjacent trees and landscape as necessary for a proper clear and safety zone.

This section of trail will result in a standard 10-foot width for a multi-use trail; removal of existing trees and shrubs along the alignment as well as adjacent to the trail; excavating native material and placing base and asphalt; grading adjacent to the trail edges for drainage; centerline striping; improving drainage in low areas to eliminate pooling of water after rainfall; and placing direction and safety signage as needed.

See the plans and drawings included with the NOI application for the trail locations.

IV. Performance Standards Summary

The project consists of rehabilitation of an existing trail at Beech Forest, converting the paved old Rte. 6 into bike trail, and adding additional new trail along Province Lands Road to Herring Cove Beach. The trail widening is proposed to extend away from all wetlands, with no further encroachment deeper into the buffer zones.

A proposed temporary sedimentation barrier is proposed at the limit of work boundary, between the work area and the wetland to provide adequate measures to protect the wetlands.

All equipment will be inspected daily prior to site use. If equipment is found to be leaking, it will be removed from the project site. Biodegradable jute matting will be installed in areas disturbed by the cut and fill to stabilize the sand and allow native vegetation to spread back into the disturbed area.

Clearing will be contained to only that required to construct the proposed trails. Archeological investigation and clearance have been conducted by NPS.

This proposal uses best practices and demonstrates that the proposed project will not result in adverse impacts to the interests defined in the local by-law and state wetland regulations.

Two changes will be made to the present drawing set 1) the mulch filled wattle will be replaced by straw wattle only, and 2) netting for the wattle will not be plastic.

Construction Protocol

I. Pre-Construction Requirements

- A sign bearing the MA DEP file number shall be posted in compliance with the Order of Conditions issued by the Provincetown Conservation Commission.
- Prior to any construction or site disturbance activity, the erosion and sedimentation barriers shall be installed in the locations(s) shown on the plan.
- A copy of the approved plans and the Order of Conditions shall be provided to the Contractor and shall be on-site at all times.

II. On Site Pre-Construction Conference

Prior to the start of any sitework, there will be an on-site meeting to review the Order of Conditions and to assure the Conservation Agent that the work will be done as specified and approved. The construction start date to occur upon completion of all pre-construction requirements outlined in the specifications and Order of Conditions, as well as any pre-construction requirements outlined during the pre-construction meeting. The pre-construction meeting will be held on site with the following parties represented:

- Construction Contractor(s)
- NPS Park Planner
- Applicant or applicant's designated representative
- Provincetown Conservation Commission Agent

Topics to be discussed during the meeting:

- Existing Conditions and necessary precautions to be taken by the Contractor
- Contractor's work plan
- Maintenance of Erosion and Sediment Control barriers
- Construction sequencing and schedule
- Site housekeeping procedures
- Material and Equipment Storage
- Project contacts
- Requirements and procedures for post-construction inspections

III. Construction and Staging Areas

Construction vehicles and equipment access to and from the site shall be from each trail end, and several existing entry points from Race Point Road, Route 6, and Province Lands Road. The Beech Forest Parking Lot and the sandy area at the corner of Route 6 and Province Lands Road will be used for parking and staging of materials.

IV. Construction and Completion of Construction

The contractor shall practice good housekeeping measures during the day-to-day operations at the site. The site will be policed daily to remove any litter or construction debris. Care shall be taken that no debris be allowed outside the limit of work. Debris outside the work limit shall be picked up and disposed of immediately.

Material stockpiles that are in place for an extended period of time shall be stabilized with vegetation, mulching, erosion control blankets, and other measures that are necessary to prevent the migration of sediment from the project site or staging areas.

When the work is complete, the applicant shall supply the Conservation Commission with a series of post-construction photographs documenting that the work has been completed in substantial compliance with the project approvals.

No equipment fueling will occur within 100' of wetlands.

V. Request for Certificate of Compliance

As soon as practicable, the applicant shall request a Certificate of Compliance for the work from the Conservation Commission.





ROUTE 6 TRAIL -SITE PICTURES





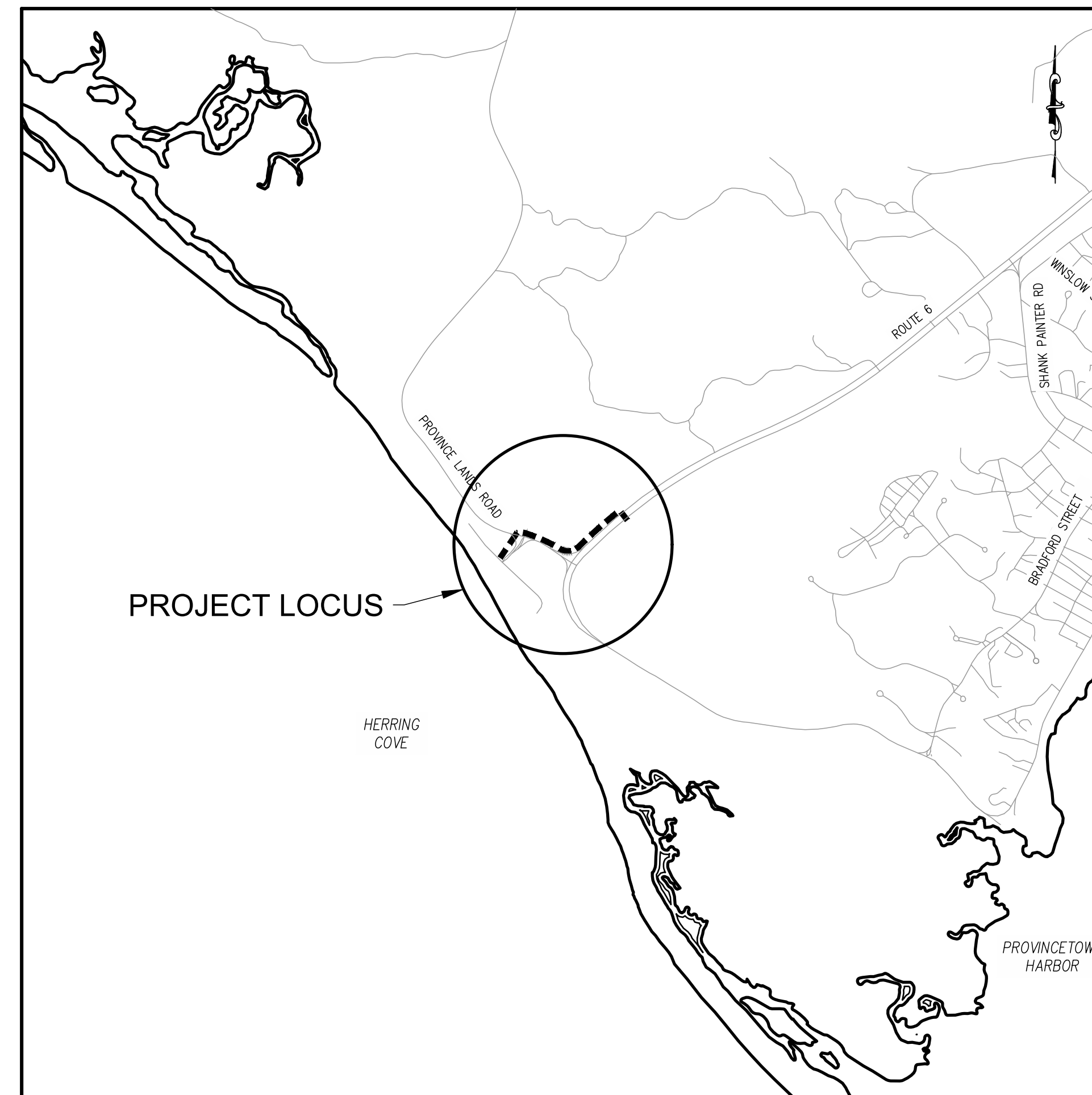


End of Route 6 trail - proposed connection to existing parking lot/bike path

HENRY GENERAL CONTRACTORS, INC.

CAPE COD NATIONAL SEASHORE ROUTE 6 BIKE TRAIL CONNECTOR PROVINCETOWN, MA

SHEET NO.	INDEX DESCRIPTION
C.0.0.1	TITLE SHEET & INDEX
C2.0.1	SHEET LAYOUT KEY
C2.0.2	SITE DEMOLITION PLAN
C2.1.1	PROPOSED TRAIL PLAN & PROFILE I
C2.1.2	PROPOSED TRAIL PLAN & PROFILE II
C2.1.3	PROPOSED TRAIL PLAN & PROFILE III
C2.1.4	PROPOSED TRAIL PLAN & PROFILE IV
C2.4.1	TYPICAL CROSS SECTIONS & SITE DETAILS
C2.4.2	SITE DETAILS II
C2.4.3	SITE DETAILS III



KEY MAP
1"=1250'

ISSUED FOR CONSERVATION
COMMISSION REVIEW
02/06/2023

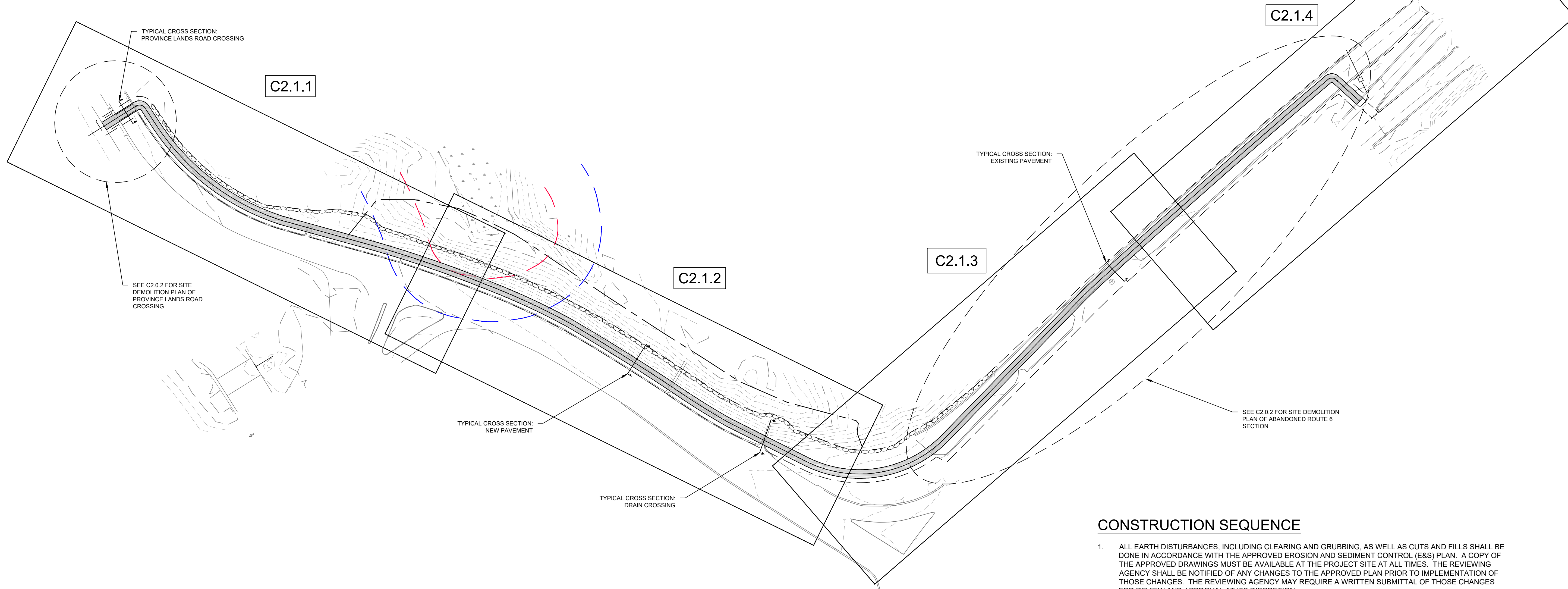
NOTES:

1. THIS PLAN IS REFERENCED HORIZONTALLY TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM OF 1983, MAINLAND ZONE (NAD83 (2011) (MYCS2) EPOCH 2010.00) AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BY RTK GPS OBSERVATIONS ON 08-29-2022 USING THE HXGN SMARTNET RTK NETWORK.
2. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY PERFORMED ON 08-29-2022 & 09-16-2022.
3. EXISTING UTILITIES, UNDERGROUND AND OVERHEAD, MAY EXIST IN ADDITION TO THE UTILITY INFORMATION SHOWN ON THESE PLANS. THIS PLAN MUST NOT BE USED TO LOCATE UNDERGROUND UTILITIES. CALL DIG SAFE AT 811 PRIOR TO STARTING ANY EXCAVATION.
4. THE PROPERTY LINES SHOWN ARE APPROXIMATE ONLY. THEY ARE A GRAPHICAL REPRESENTATION OF THE GENERAL LOT CONFIGURATION LIMITED TO THE AREA OF WORK AND HAVE NOT BEEN DETERMINED BY A REGISTERED PROFESSIONAL LAND SURVEYOR. THEREFORE THEY SHOULD NOT BE USED FOR ANY PURPOSE THAT WOULD REQUIRE AN ACTUAL BOUNDARY RETRACEMENT SURVEY.
5. FOLLOW MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

LEGEND

- ▲ BENCHMARK
- BOUND
- ⊙ SEPTIC MANHOLE
- CATCH BASIN
- ⊕ DRAIN MANHOLE
- ⊙ MISC. MANHOLE
- ☆ LIGHT POLE
- ⊕ ELECTRIC MANHOLE
- W1 △ WETLAND FLAG
- MISC. SIGN
- ⊙ POST
- ☀ CONIFER TREE
- ☀ DECIDUOUS TREE
- x23.5 SPOT ELEV.
- - - - -20 - - - - CONTOUR
- o — DRAIN PIPE
- o — SPLIT RAIL FENCE

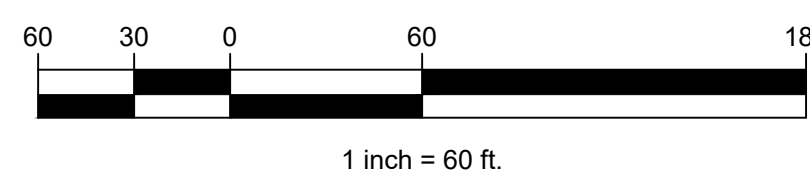




CONSTRUCTION NOTES

- CONFORM TO THE TOWN OF PROVINCETOWN ORDER OF CONDITIONS.
- CONTRACTOR SHALL FLAG ALL TREES TO BE REMOVED FOR CO REPRESENTATIVE APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
- SEE CLEARING, DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN FOR TREES TO BE CUT FLUSH WITH GROUND SURFACE AND TREES TO BE REMOVED ENTIRELY INCLUDING THE STUMP. NO STUMP SHALL BE VISIBLE AFTER FINAL GRADING. DO NOT DISTURB ROOTS EXCEPT AS NEEDED TO WIDEN PATH.
- PULVERIZE THE EXISTING ASPHALT AND USE FOR BASE MATERIAL FOR THE NEW ASPHALT. DO NOT PULVERIZE ANY DEEPER THAN THE EXISTING ASPHALT AND ANY ASSOCIATED BASED MATERIAL. CONTRACTOR TO VERIFY DEPTH OF BASE.
- COMPACT AND GRADE SHOULDERS WITH MATERIALS AND TO A WIDTH AS INDICATED ON THE DRAWINGS.
- ALL FILL AND AGGREGATE MATERIAL MUST BE ARCHEOLOGICAL AND SEED CERTIFIED. USE EXISTING MATERIAL FROM THE CONSTRUCTION SITE TO THE GREATEST EXTENT POSSIBLE.
- ADD CROSSWALK MARKINGS AT ALL PATH CROSSINGS (SEE DRAWINGS).
- NO CONSTRUCTION IS ALLOWED WITHIN WETLANDS. CONTRACTOR SHALL RE-ESTABLISH WETLAND FLAGGING PRIOR TO BEGINNING CONSTRUCTION.
- PROVIDE BENCHES AT AREAS SHOWN AND IN ACCORDANCE WITH THE DETAILS. BENCH STYLE TO BE APPROVED BY PARK. CONTRACTOR TO PROVIDE SUBMITTAL FOR APPROVAL.
- ALL STAGING AREAS TO BE APPROVED BY CO REPRESENTATIVE PRIOR TO CONSTRUCTION.
- TRUNCATED DOMES SHALL MEET THE REQUIREMENTS OF THE ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS).
- CONTRACTOR SHALL REMOVE ALL EXISTING SIGNS AND INSTALL NEW SIGNS AS INDICATED ON THE DRAWINGS.
- CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO THE EXISTING TRAIL BEING DISTURBED.

ROUTE 6 BIKE TRAIL CONNECTOR



TRAFFIC CONTROL NOTES

- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE MASSACHUSETTS HIGHWAY STANDARD DETAILS AND DRAWINGS FOR THE DEVELOPMENT OF TEMPORARY TRAFFIC CONTROL PLANS.
- FLAGGERS SHALL BE USED AT ROADWAY CROSSINGS DURING CONSTRUCTION.
- CONSTRUCTION PHASE TRAIL CLOSURE SIGNS SHALL BE INSTALLED PRIOR TO TRAIL CLOSURE AND SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION. DETAILS AND VERBIAGE TO BE USED FOR THE SIGNS SHALL BE PROVIDED BY THE NATIONAL PARK SERVICE TO THE CONTRACTOR.

GENERAL NOTES

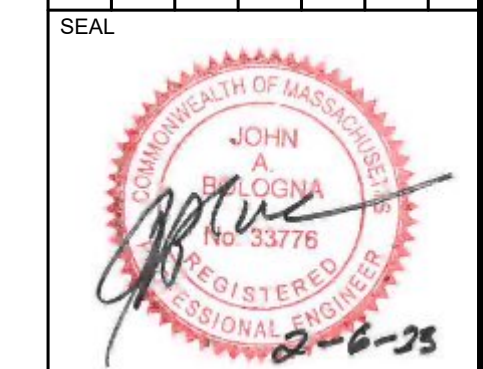
- BETWEEN SEPTEMBER 4TH AND OCTOBER 30TH, THE CONTRACTOR, PRIOR TO BEGINNING SITE WORK AT ANY TIME OF DAY, SHALL CONDUCT A BOX "TURTLE SWEEP" AS THE CONTRACTOR PROCEEDS INTO A NEW SECTION OF PATH WITH VEHICLES AND EQUIPMENT. THE "TURTLE SWEEP" SHALL BE CONDUCTED BY A PERSON ON FOOT SO TURTLES ARE NOT DRIVEN OVER/CRUSHED.
- ALL TREE CUTTING AND GRUBBING SHALL BE COMPLETED BY MARCH 31 TO ACCOMMODATE THE EASTERN LONG EARED BAT ROOSTING SEASON.

CONSTRUCTION SEQUENCE

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL (E&S) PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
- INSTALL EROSION AND SEDIMENT CONTROLS PER THE CONSTRUCTION DETAILS AND LOCATIONS PROVIDED ON THE PLANS.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, DIG SAFE SHALL BE NOTIFIED AT 1-800-DIG-SAFE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS.
- THE CONTRACTOR TO CLEAR AND GRUB AREAS ONLY REQUIRED TO BE CLEARED FOR THE PROPOSED CONSTRUCTION.
- ALL MATERIAL EXCAVATED FROM THE SITE SHALL BE STOCKPILED FOR REUSE. REUSE MATERIAL ON SITE TO THE EXTENT POSSIBLE.
- THE STABILIZED STAGING AREAS SHOULD BE LOCATED IN A PAVED PARKING AREA AS DESIGNATED BY CO REPRESENTATIVE. APPROVAL OF ALL STAGING AND STOCKPILE AREAS BY CO REPRESENTATIVE IS REQUIRED PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL BEGIN PULVERIZING OF EXISTING ASPHALT.
- INSTALL TRAIL SURFACE PAVING AS INDICATED ON THE DRAWINGS.
- CONDUCT FILLING AND GRADING AS SPECIFIED.
- THE CONTRACTOR SHALL MAINTAIN ALL SOIL EROSION AND SEDIMENTATION CONTROLS UNTIL FINAL STABILIZATION.
- COMPLETE GRADING, PERMANENT STABILIZATION AND SEEDING OF ALL DISTURBED AREAS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL SHALL BE STABILIZED IMMEDIATELY.

**ISSUED FOR CONSERVATION
COMMISSION REVIEW**

NO.	DATE	REVISION	BY



PROJECT: CAPE COD NATIONAL SEASHORE
 PROVINCETOWN, MA

ROUTE 6 BIKE TRAIL CONNECTOR
 SHEET TITLE: SHEET LAYOUT KEY

SCALE: AS NOTED

DRAWING FILE: C19966-CIV-HC.dwg

DATE: 02/06/2023

DRAWN BY: JJB

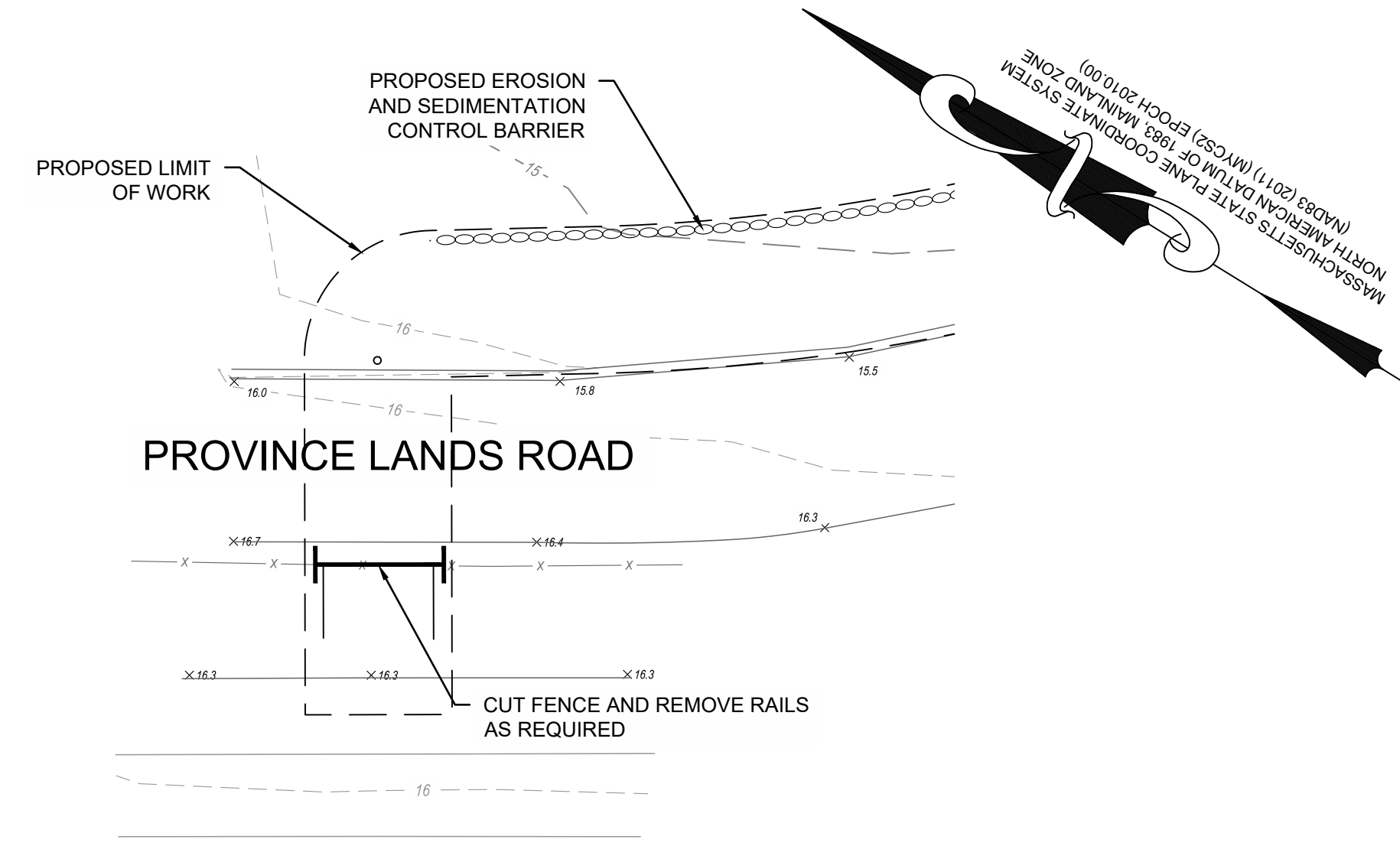
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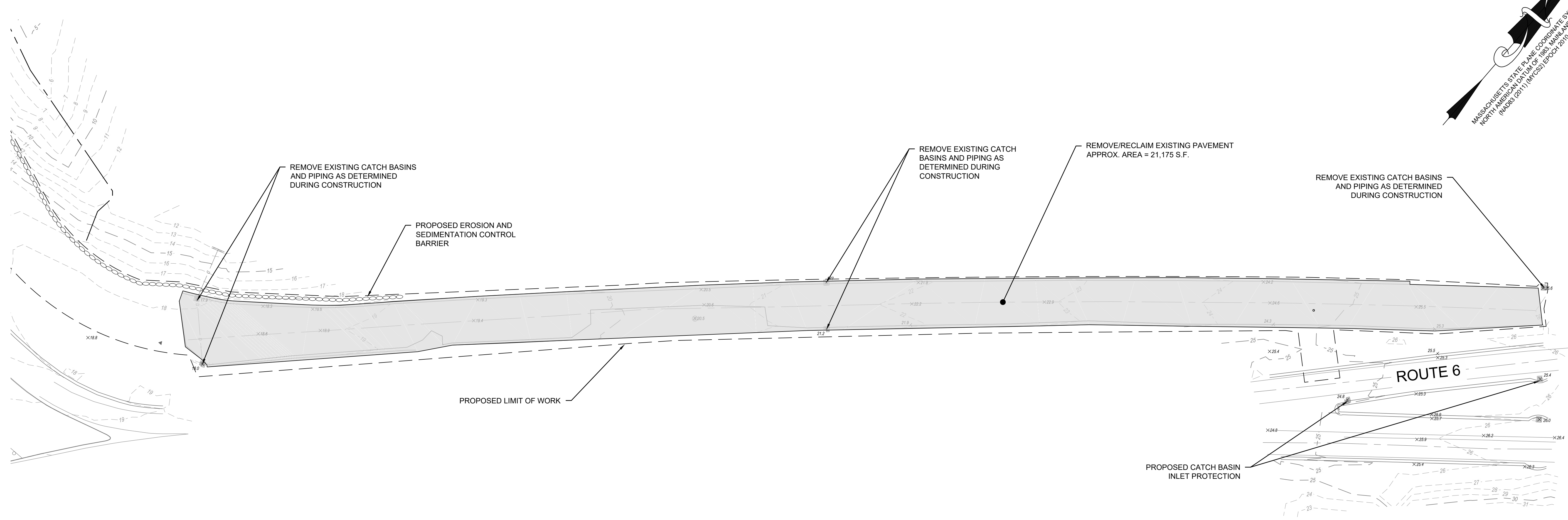
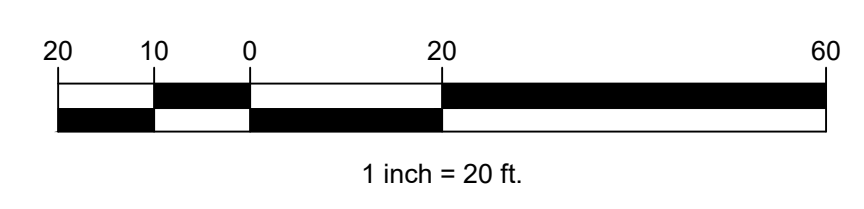
2 OF 10 SHEETS

PROJECT NO. C19966.00

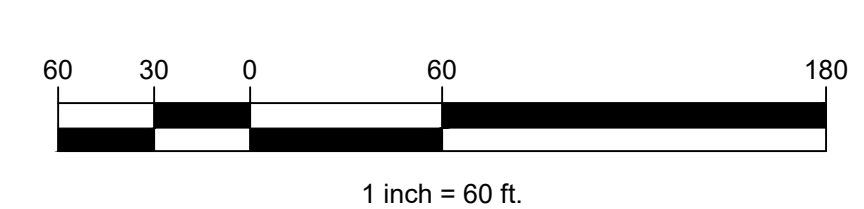
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PROVINCE LANDS ROAD CROSSING

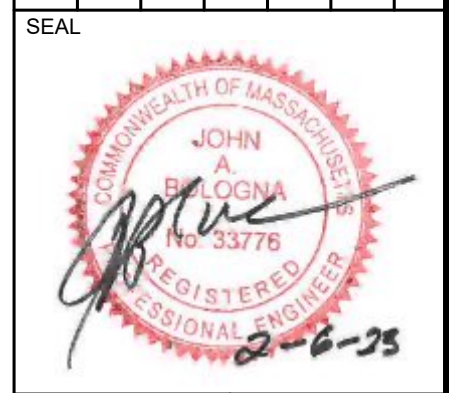


ABANONED ROUTE 6 SECTION



ISSUED FOR CONSERVATION COMMISSION REVIEW

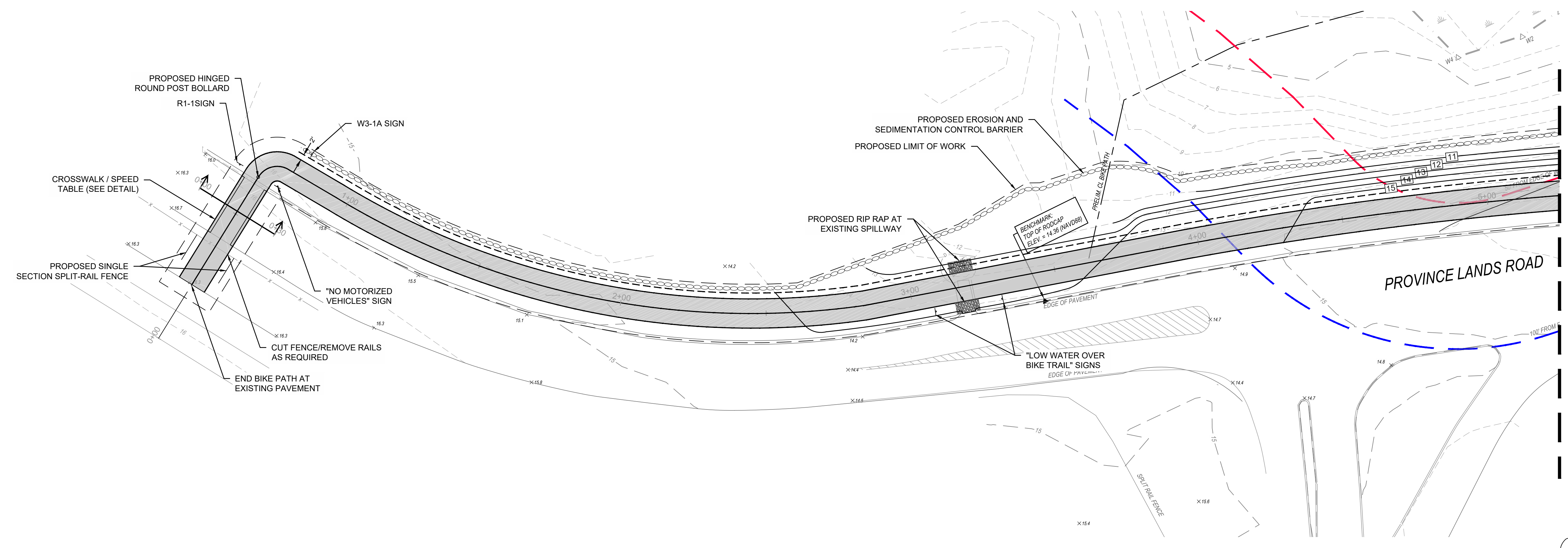
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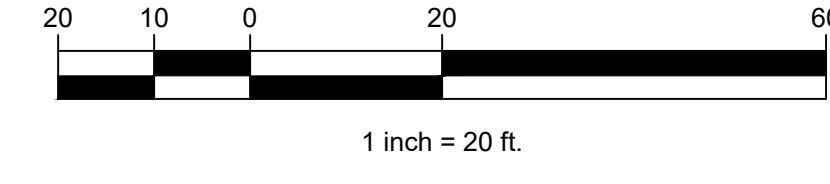
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PROVINCE TOWN, MA
ROUTE 6 BIKE TRAIL CONNECTOR
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SCALE:	AS NOTED
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DATE:	02/06/2023
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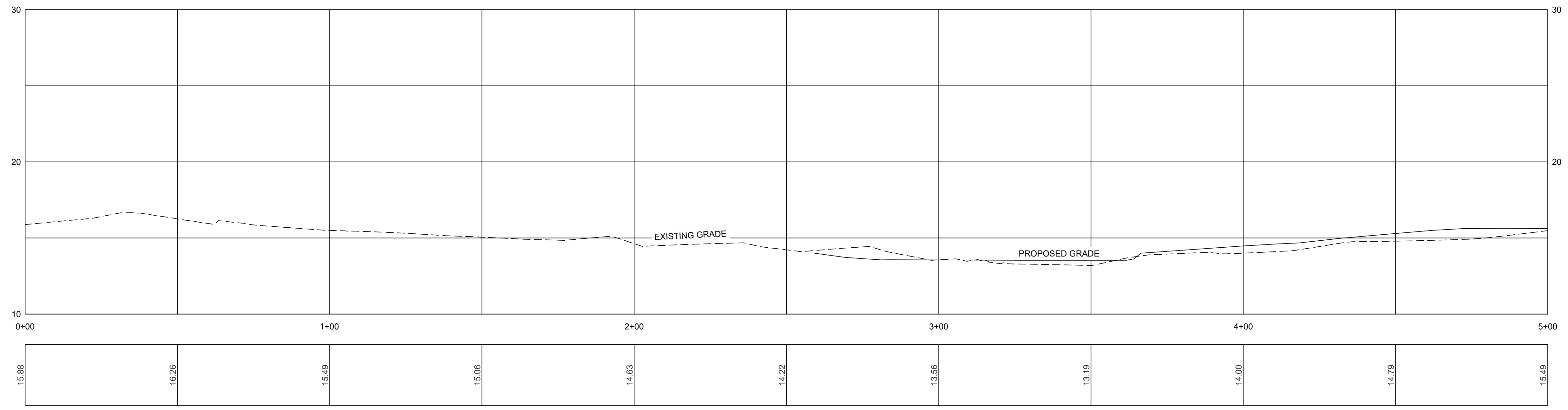
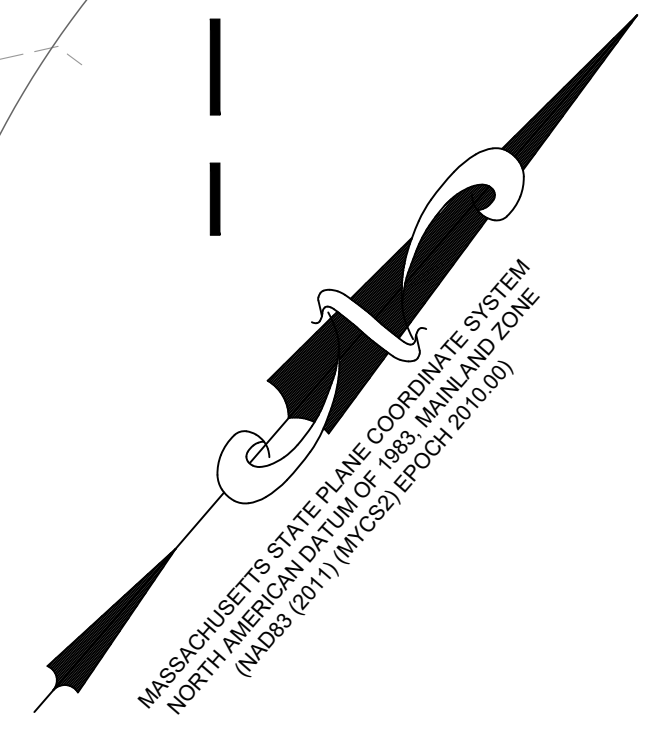
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3 OF 10 SHEETS
PROJECT NO. C19966.00



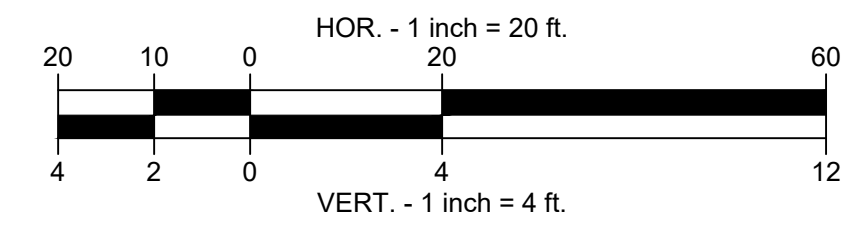
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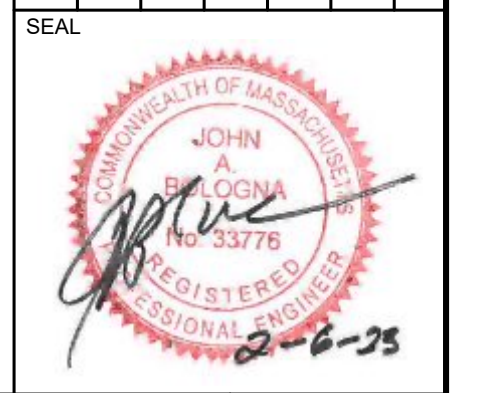


PROFILE



**ISSUED FOR CONSERVATION
COMMISSION REVIEW**

NO.	DATE	REVISION	BY



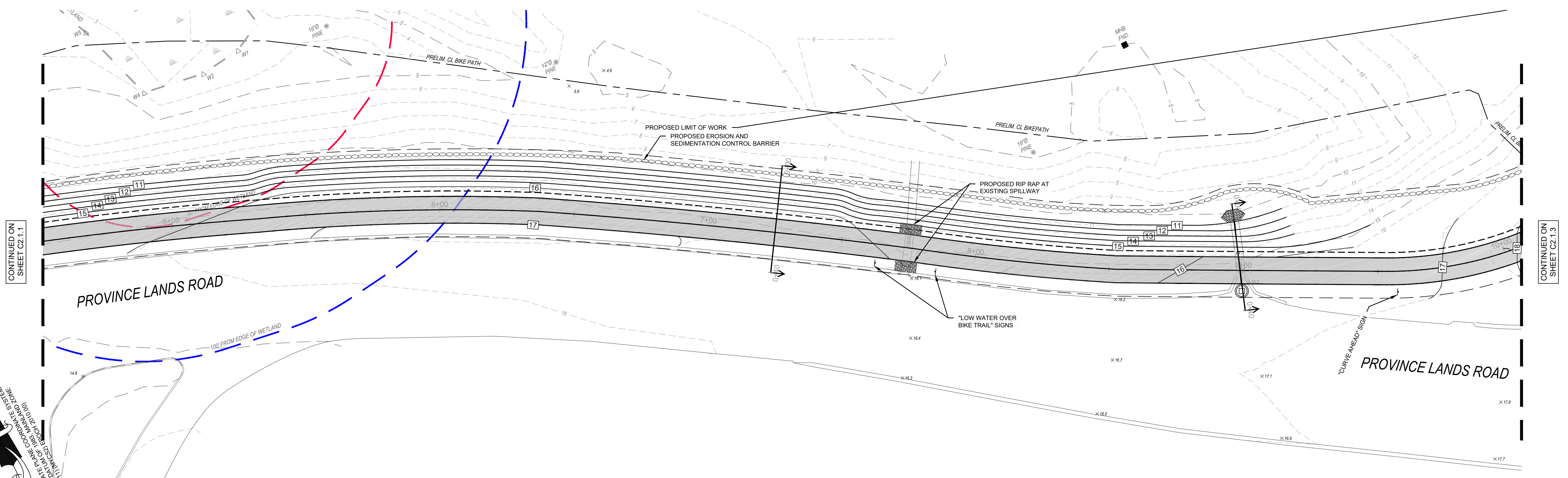
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PROVINCE	PROVINCETOWN, MA
SHEET TITLE	PROPOSED TRAIL PLAN & PROFILE I
SCALE	AS NOTED
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DATE	02/06/2023
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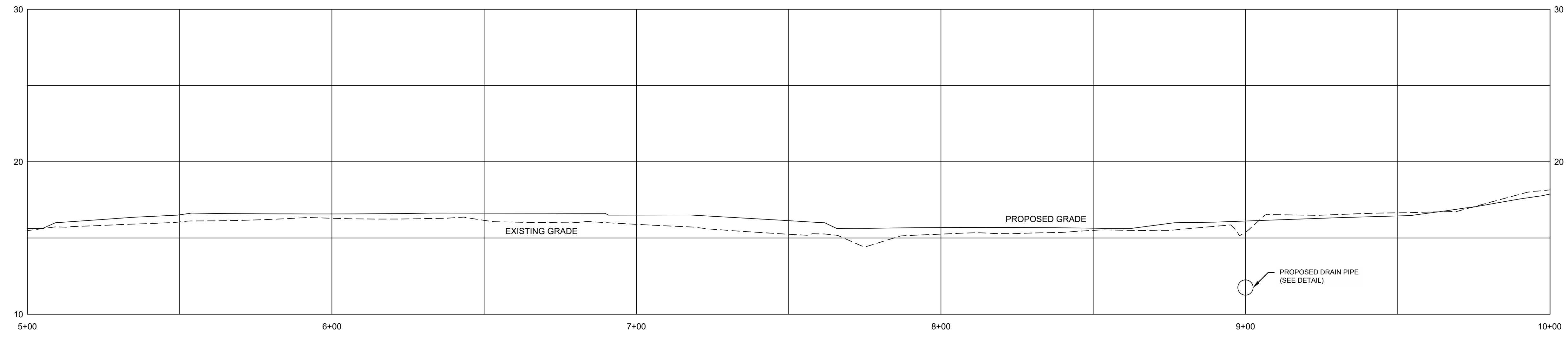
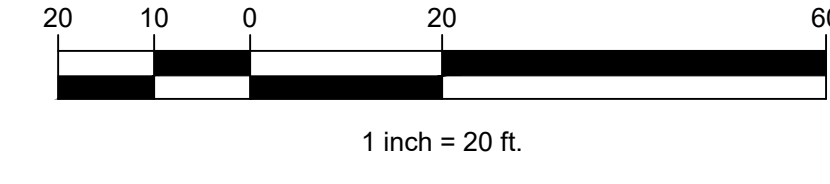
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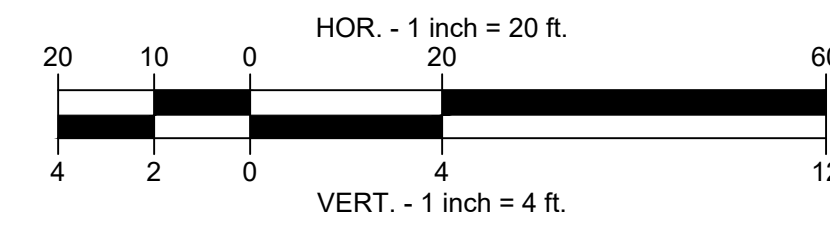
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PROVINCE TOWN, MA	PROVINCE TOWN, MA
ROUTE 6 BIKE TRAIL CONNECTOR	ROUTE 6 BIKE TRAIL CONNECTOR
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SCALE	AS NOTED
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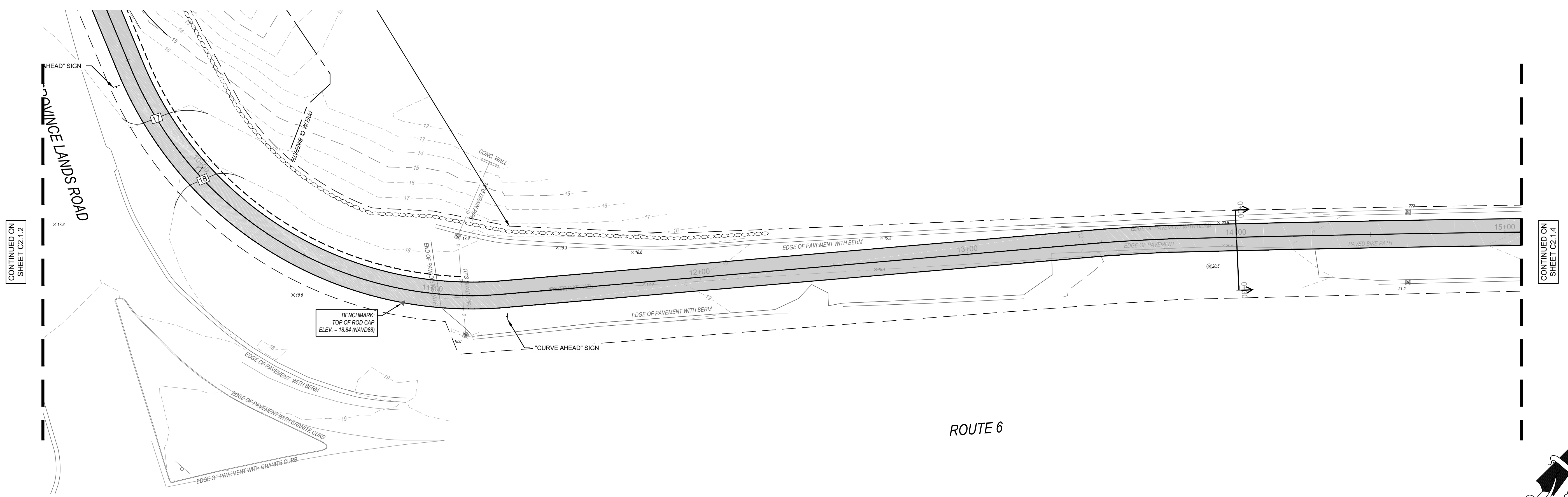
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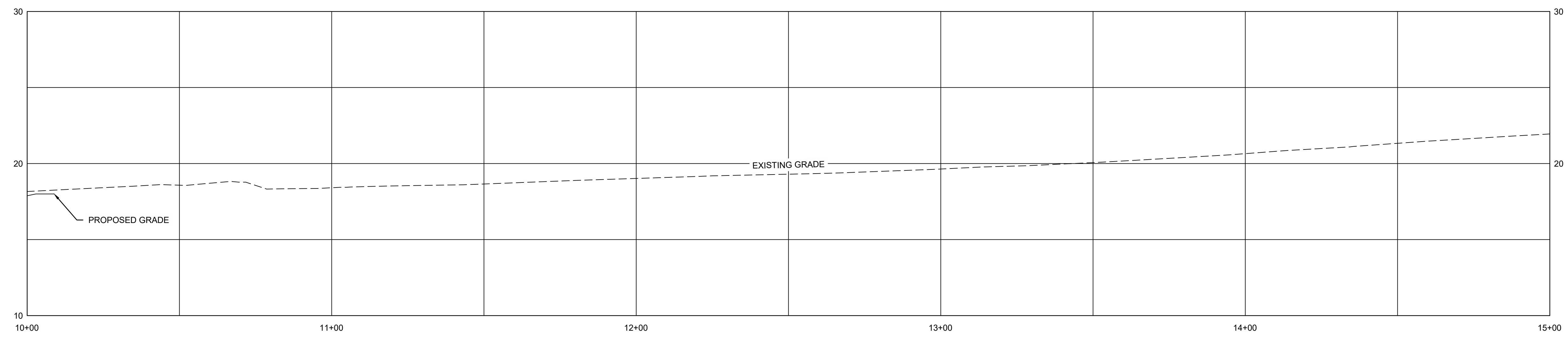
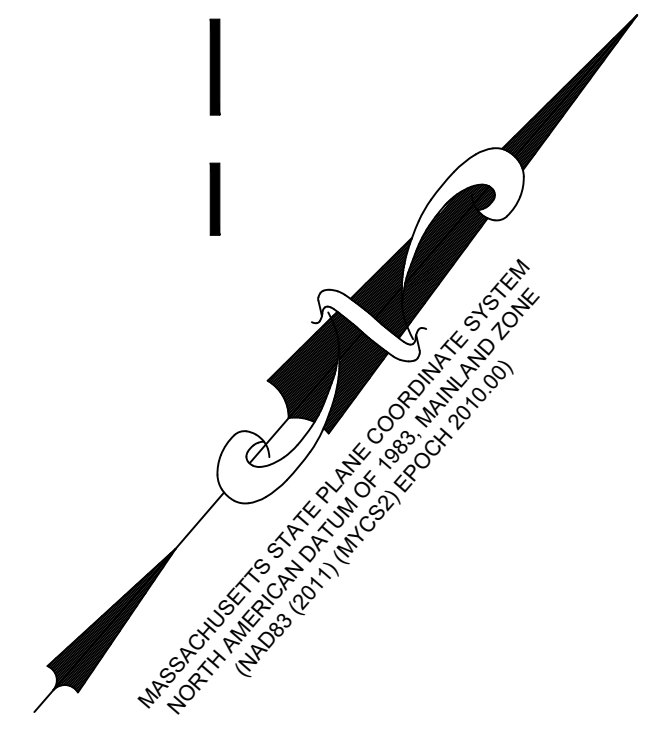
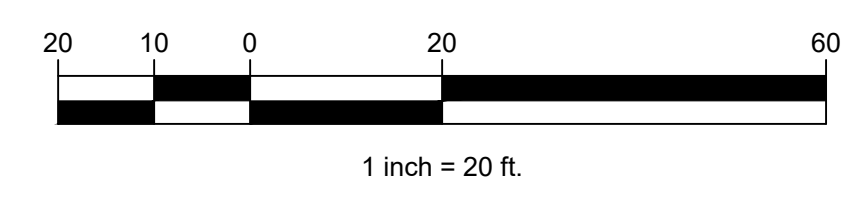
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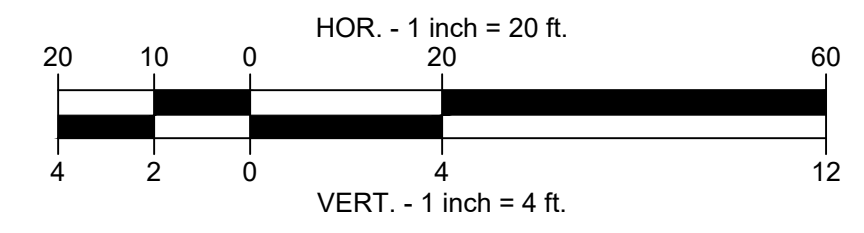
**ISSUED FOR CONSERVATION
COMMISSION REVIEW**



PLAN

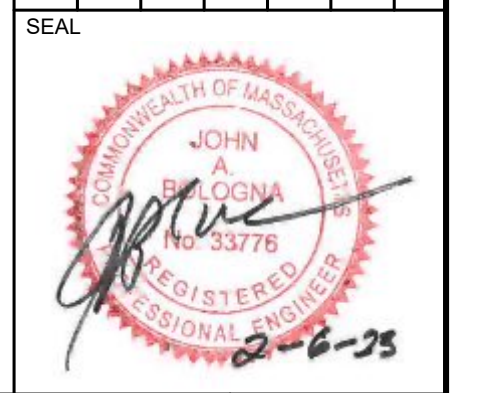


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**ISSUED FOR CONSERVATION
COMMISSION REVIEW**

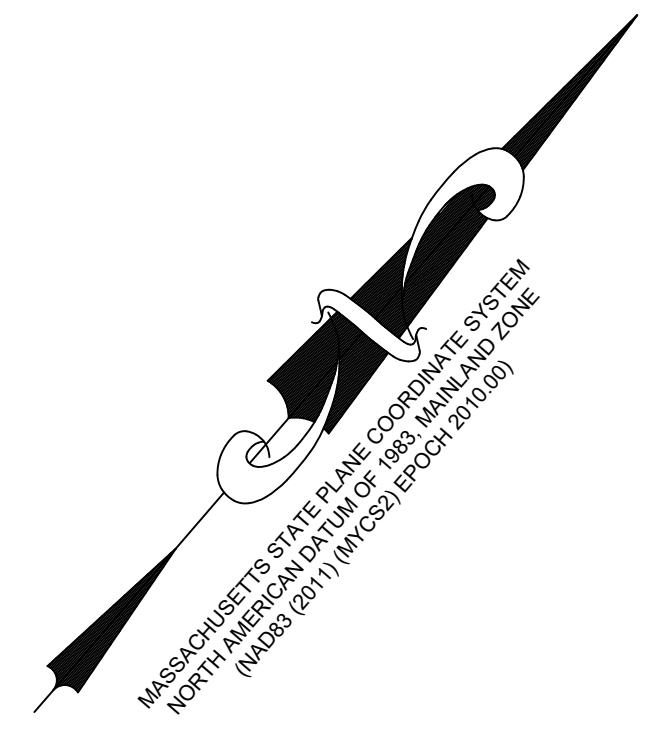
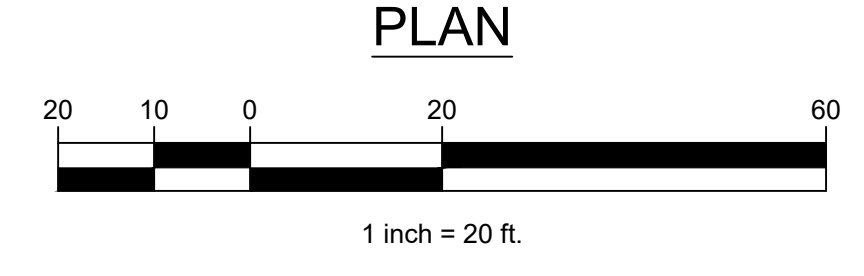
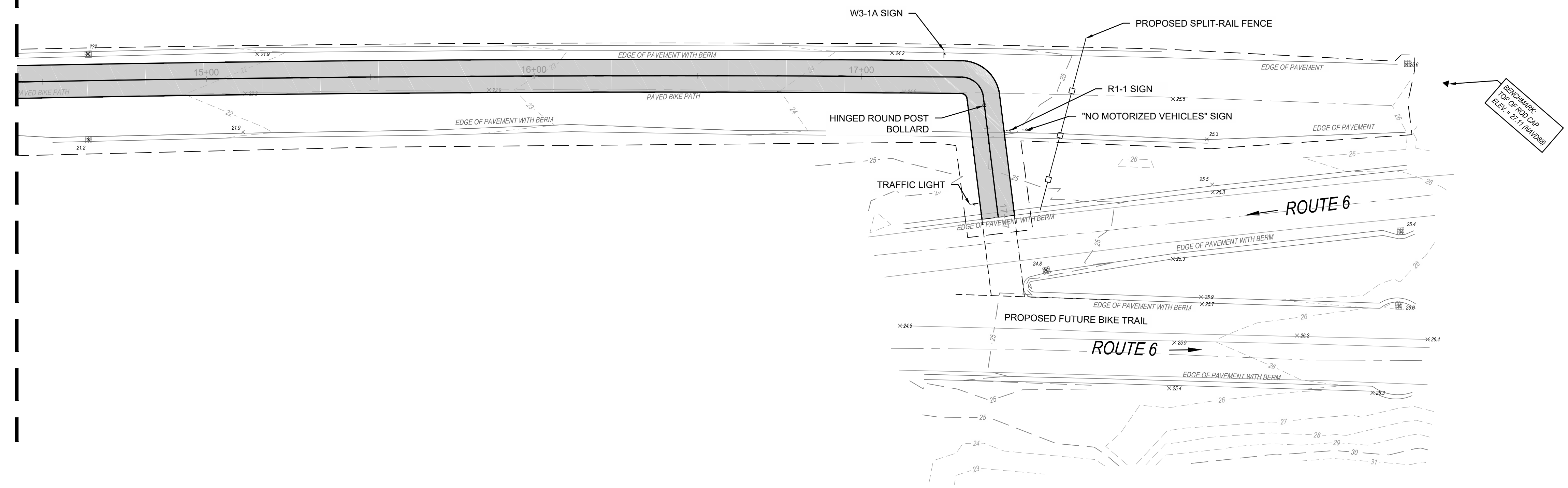
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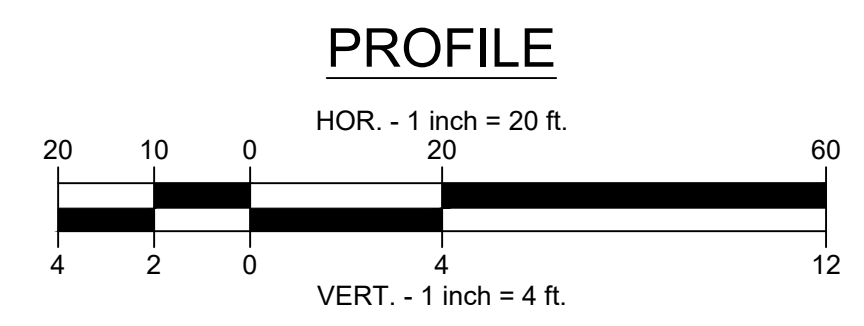
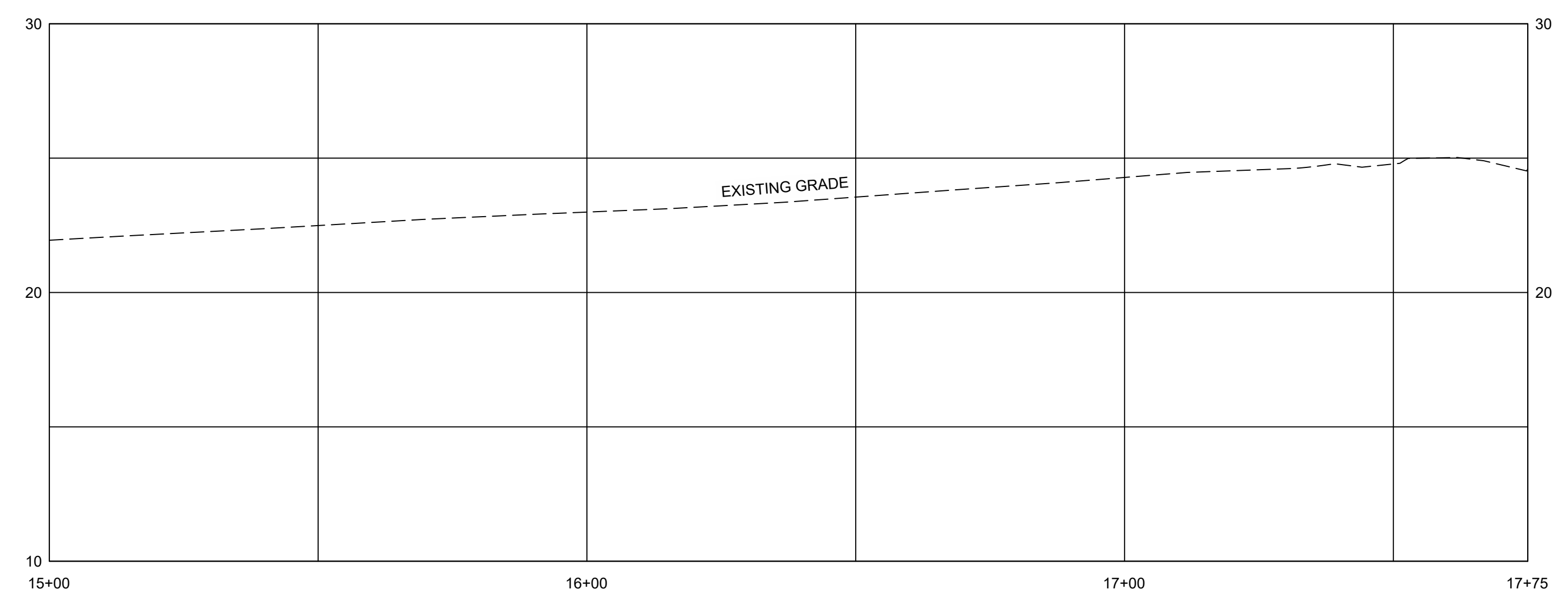
PROJECT	CAPE COD NATIONAL SEASHORE
PROVINCE/TOWN, MA	PROVINCETOWN, MA
ROUTE 6 BIKE TRAIL CONNECTOR	
SHEET TITLE	PROPOSED TRAIL PLAN & PROFILE III
SCALE	AS NOTED
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DATE	02/06/2023
DRAWN BY	JJB
CHECKED BY	JAB

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SHEET C2.1.3



NO.	DATE	REVISION	BY



ISSUED FOR CONSERVATION
COMMISSION REVIEW

PROJECT: **CAPE COD NATIONAL SEASHORE**
PROVINCETOWN, MA

ROUTE 6 BIKE TRAIL CONNECTOR

SHEET TITLE: **PROPOSED TRAIL PLAN & PROFILE IV**

SCALE: AS NOTED

DRAWING FILE: C19966-CIV-HC.dwg

DATE: 02/06/2023

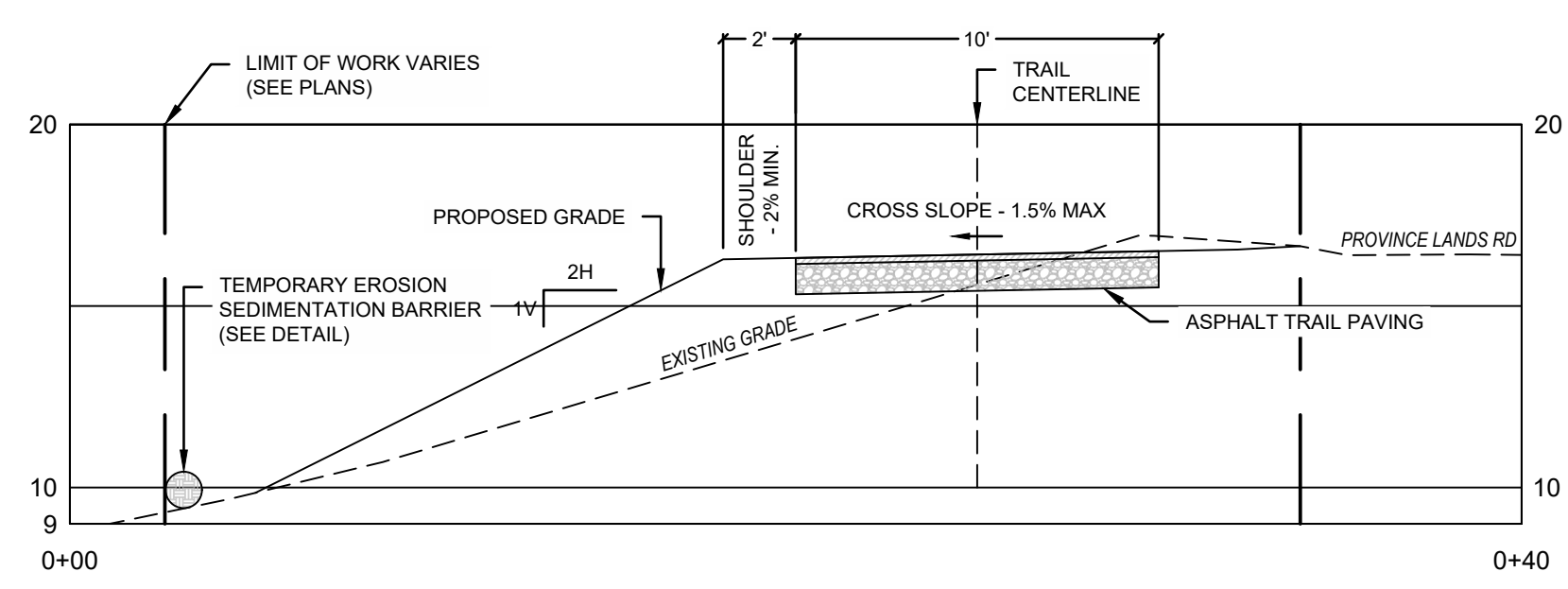
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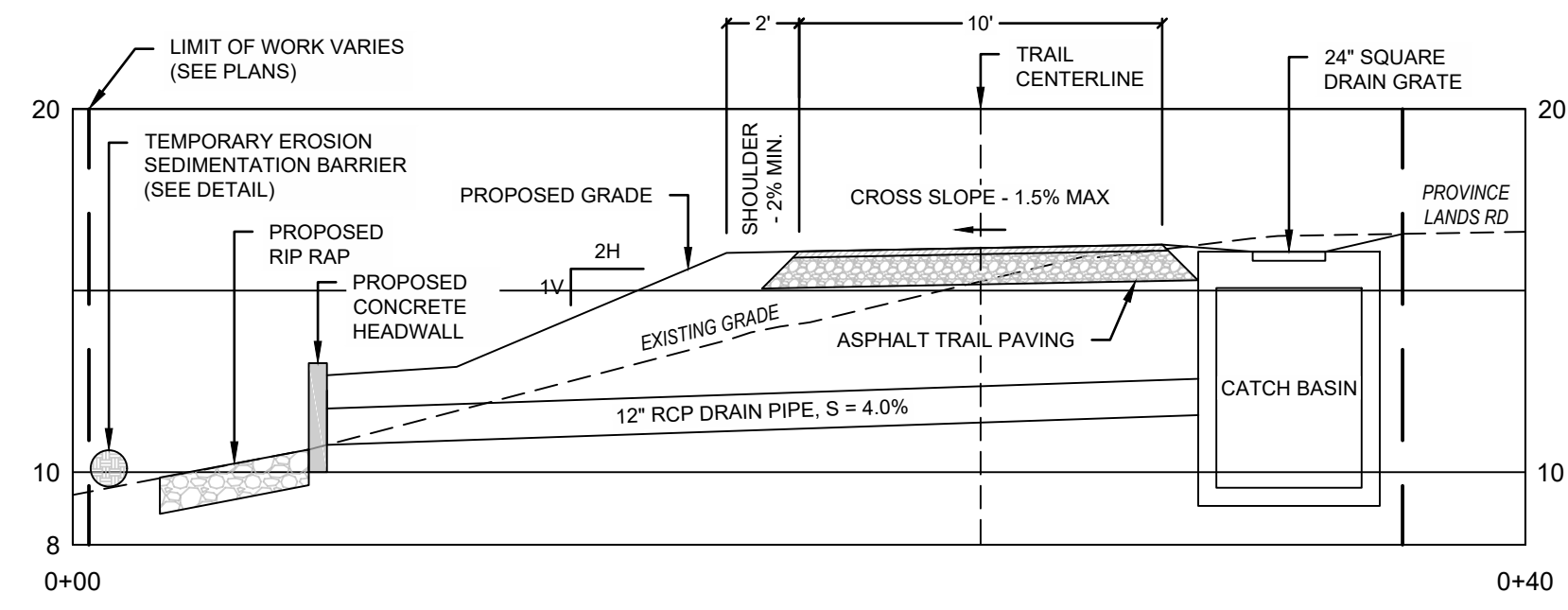
7 OF 10 SHEETS

PROJECT NO. C19966.00



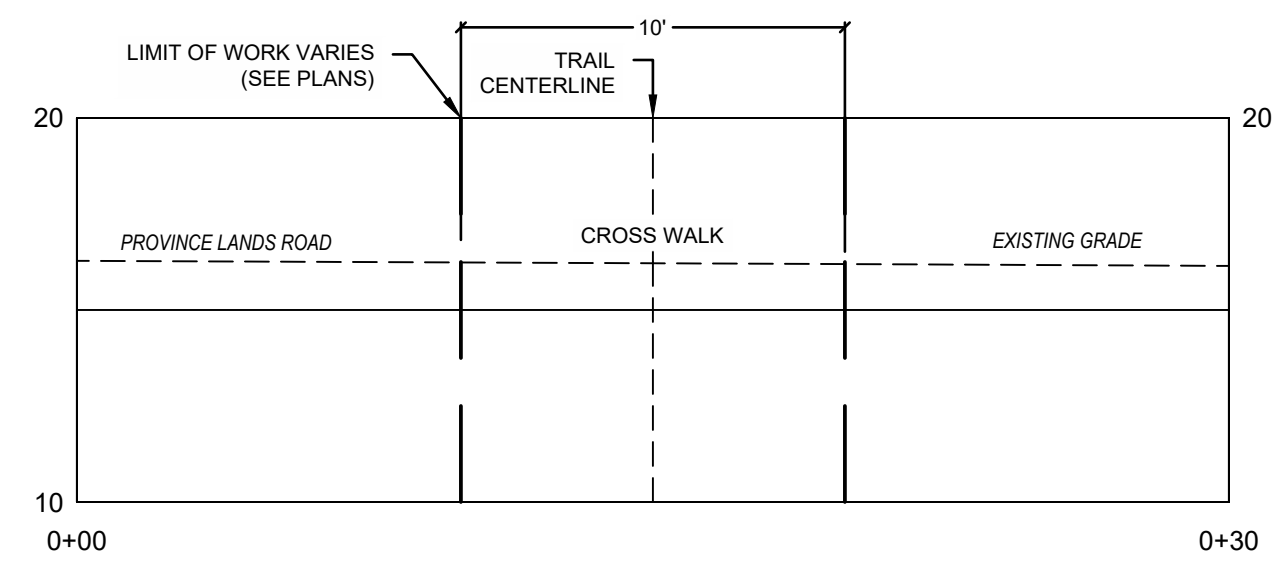
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NOT TO SCALE



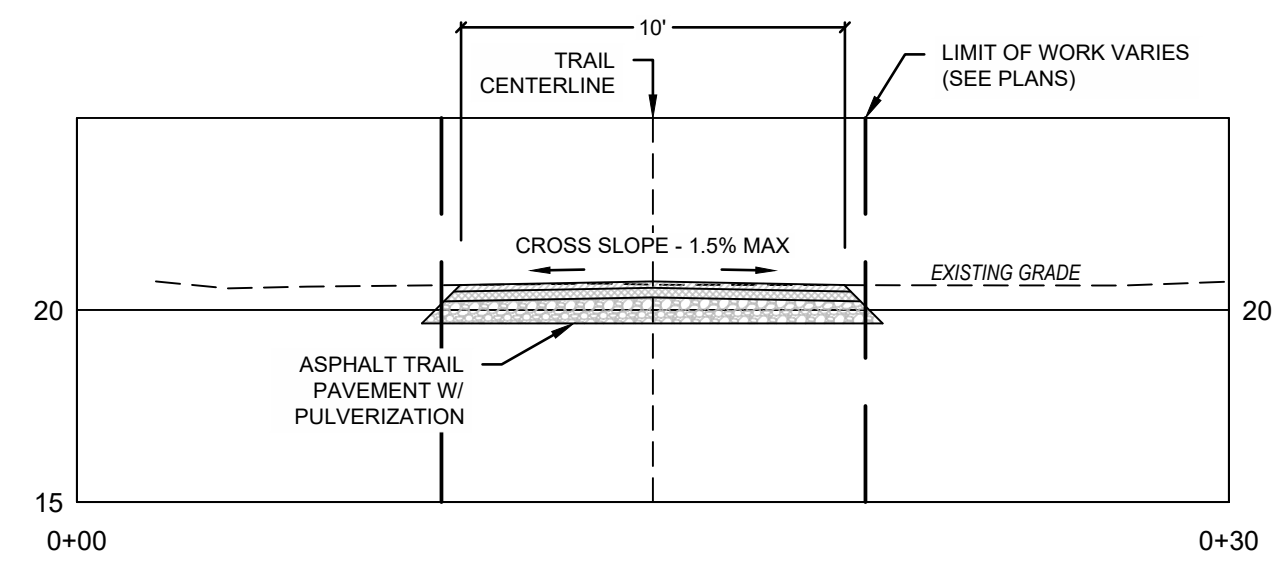
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NOT TO SCALE



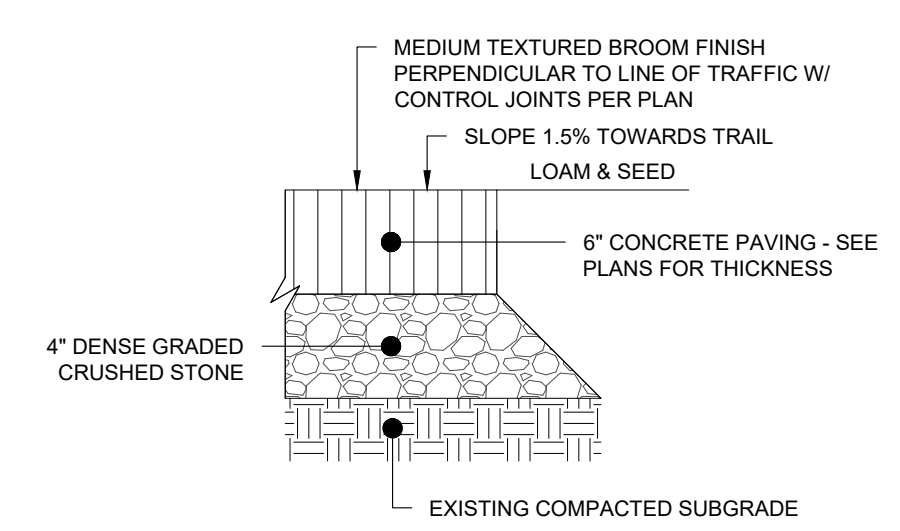
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PROVINCE LANDS ROAD CROSSING**

NOT TO SCALE



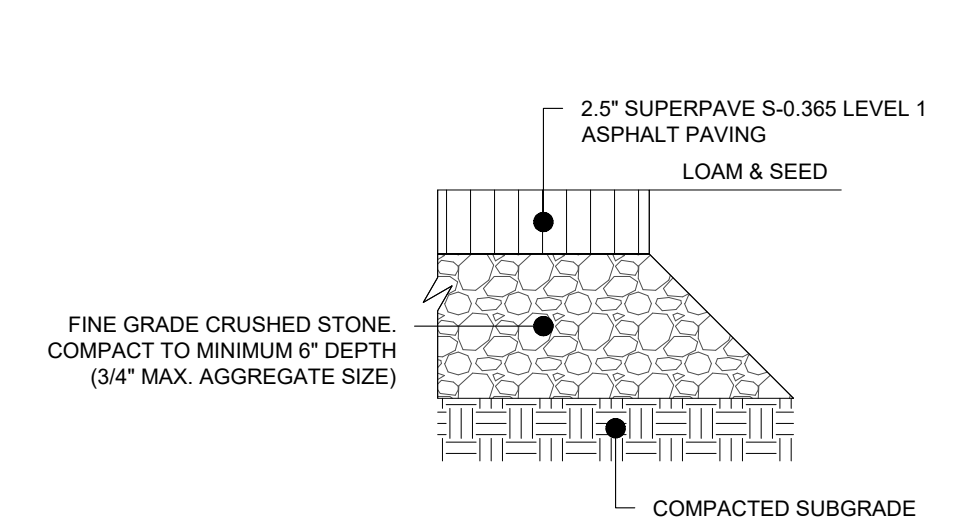
**TYPICAL CROSS SECTION:
EXISTING PAVEMENT**

NOT TO SCALE



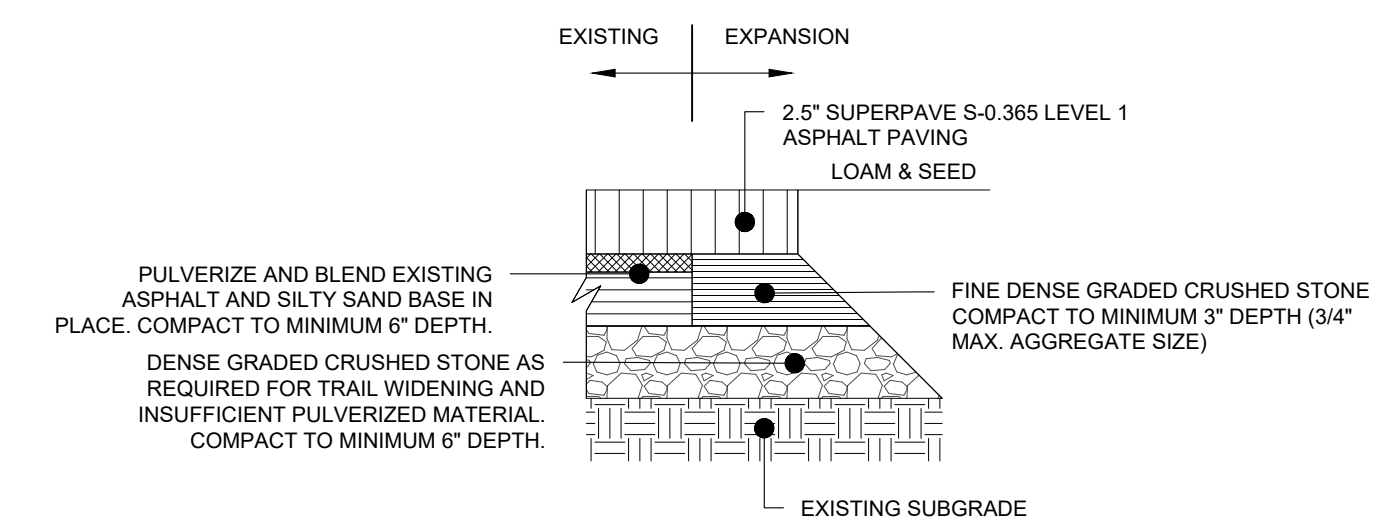
BROOM FINISH CONCRETE

NOT SCALE



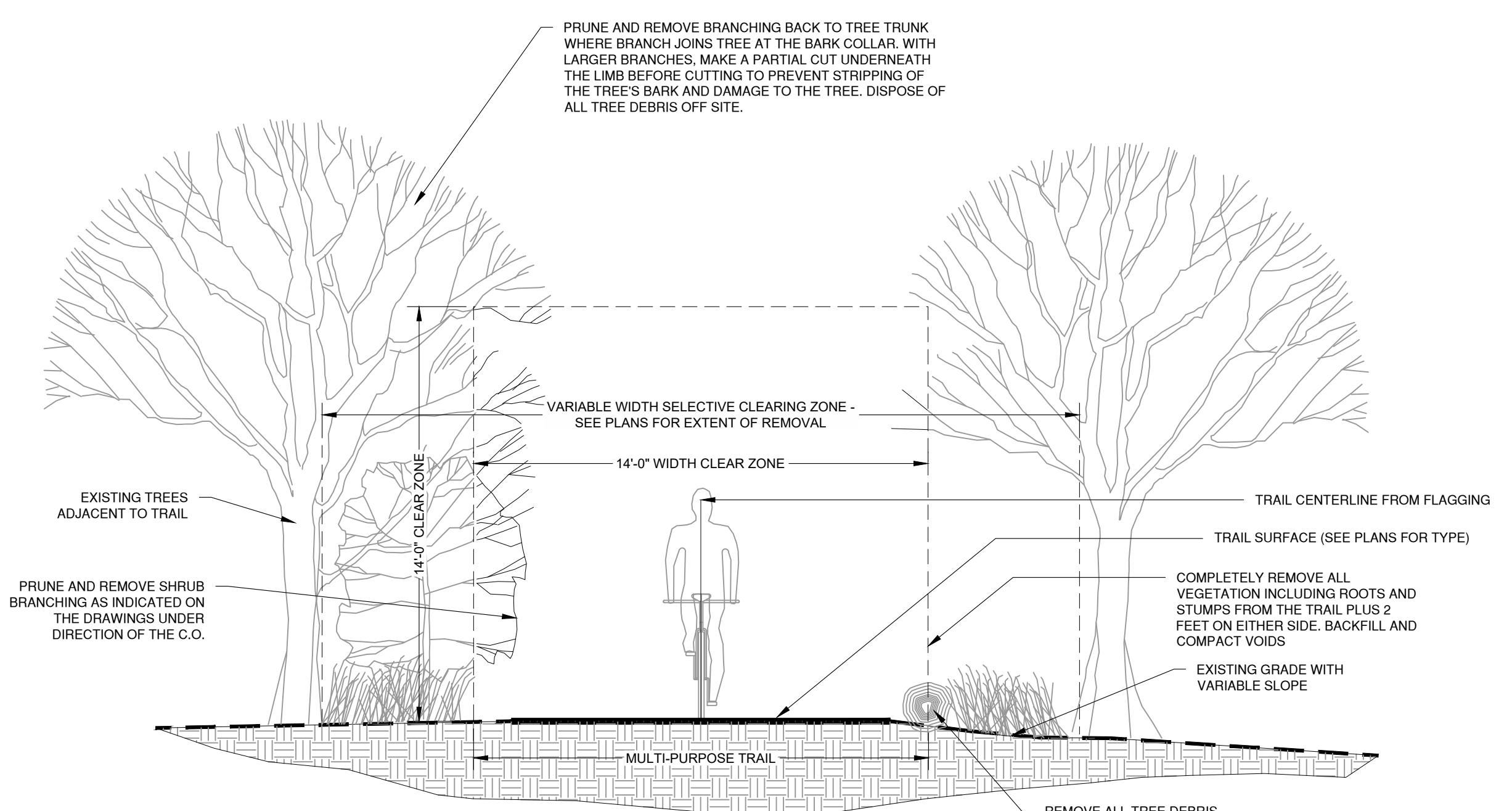
ASPHALT TRAIL PAVEMENT

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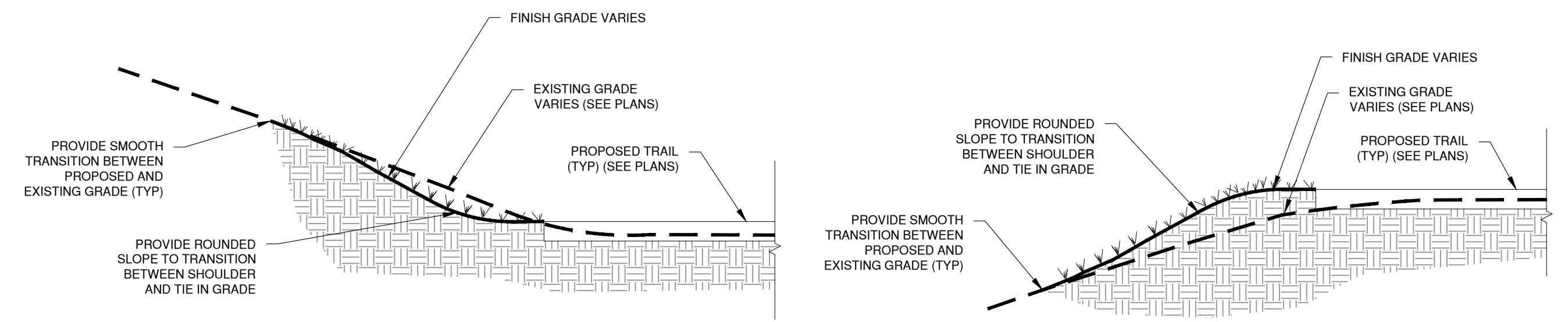
ASPHALT TRAIL PAVEMENT W/ PULVERIZATION

NOT SCALE



MULTI-PURPOSE TRAIL CLEAR ZONE REQUIREMENTS

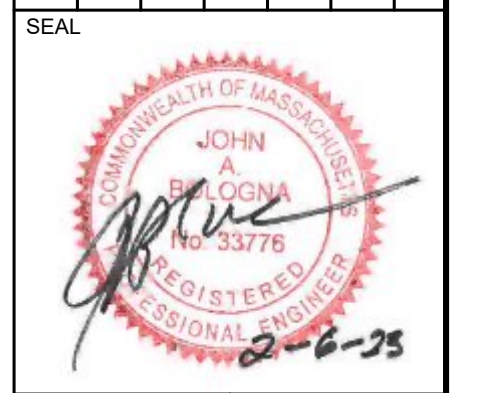
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SLOPE ROUNDING DETAIL

NOT TO SCALE

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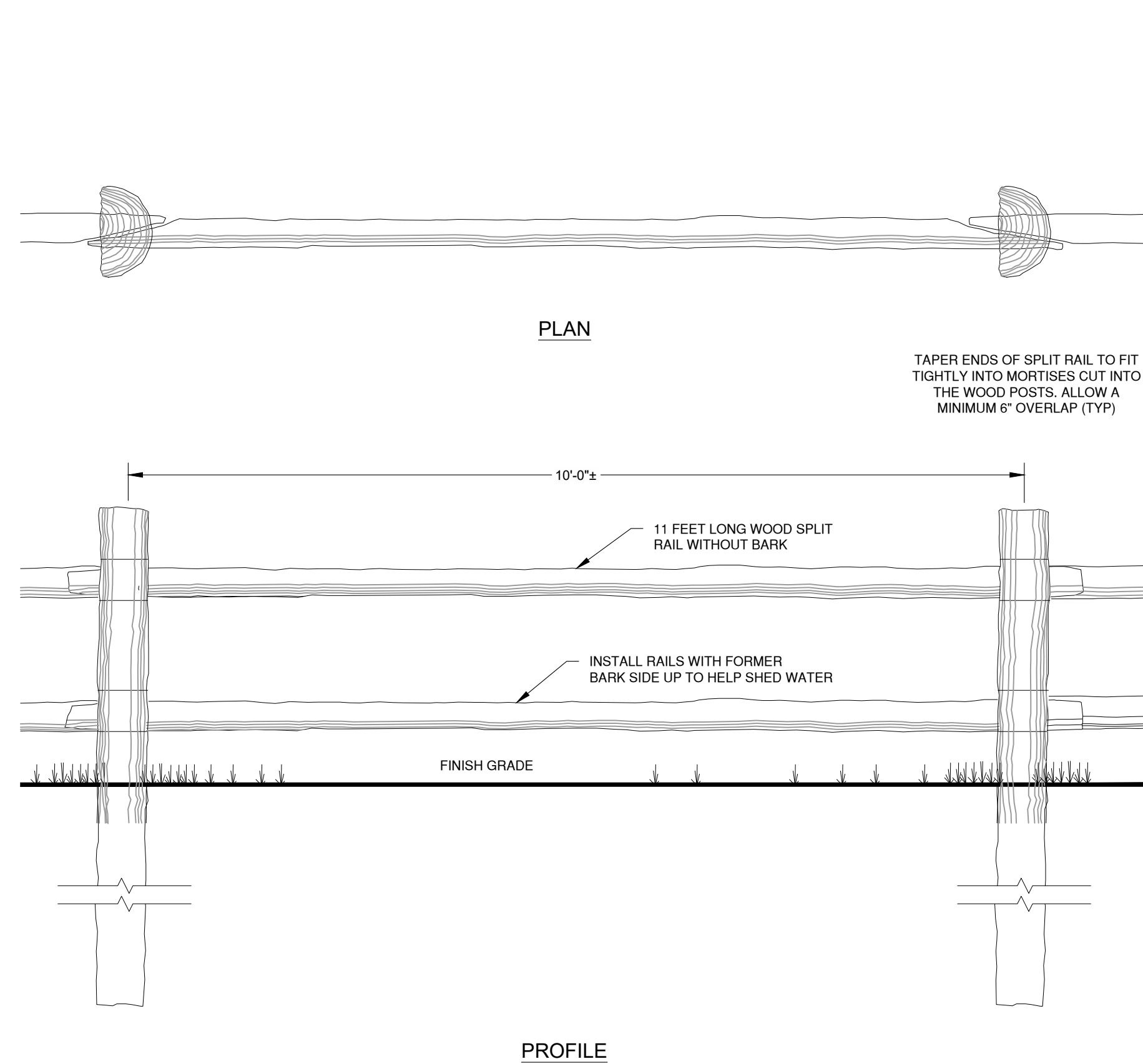
PROJECT: CAPE COD NATIONAL SEASHORE
PROVINCE TOWN, MA
ROUTE 6 BIKE TRAIL CONNECTOR
SHEET TITLE: TYPICAL CROSS SECTIONS & SITE DETAILS

SCALE:	AS NOTED
DRAWING FILE:	C19966-CIV-HC.dwg
DATE:	02/06/2023
DRAWN BY:	JJB
CHECKED BY:	JAB

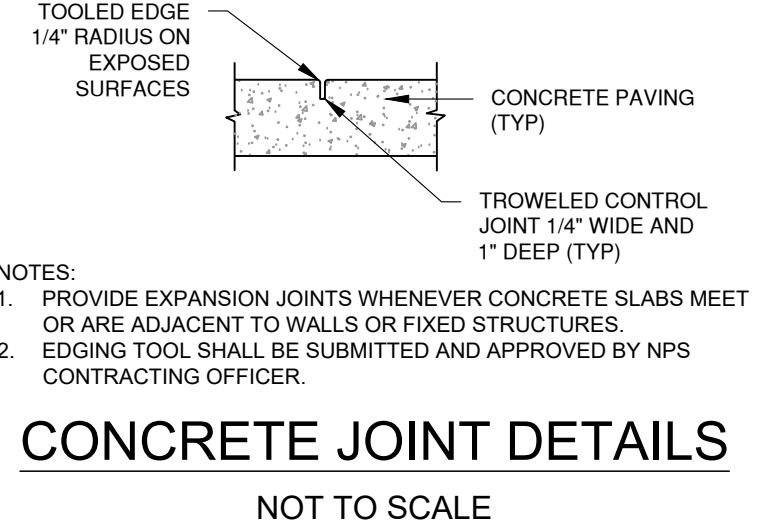
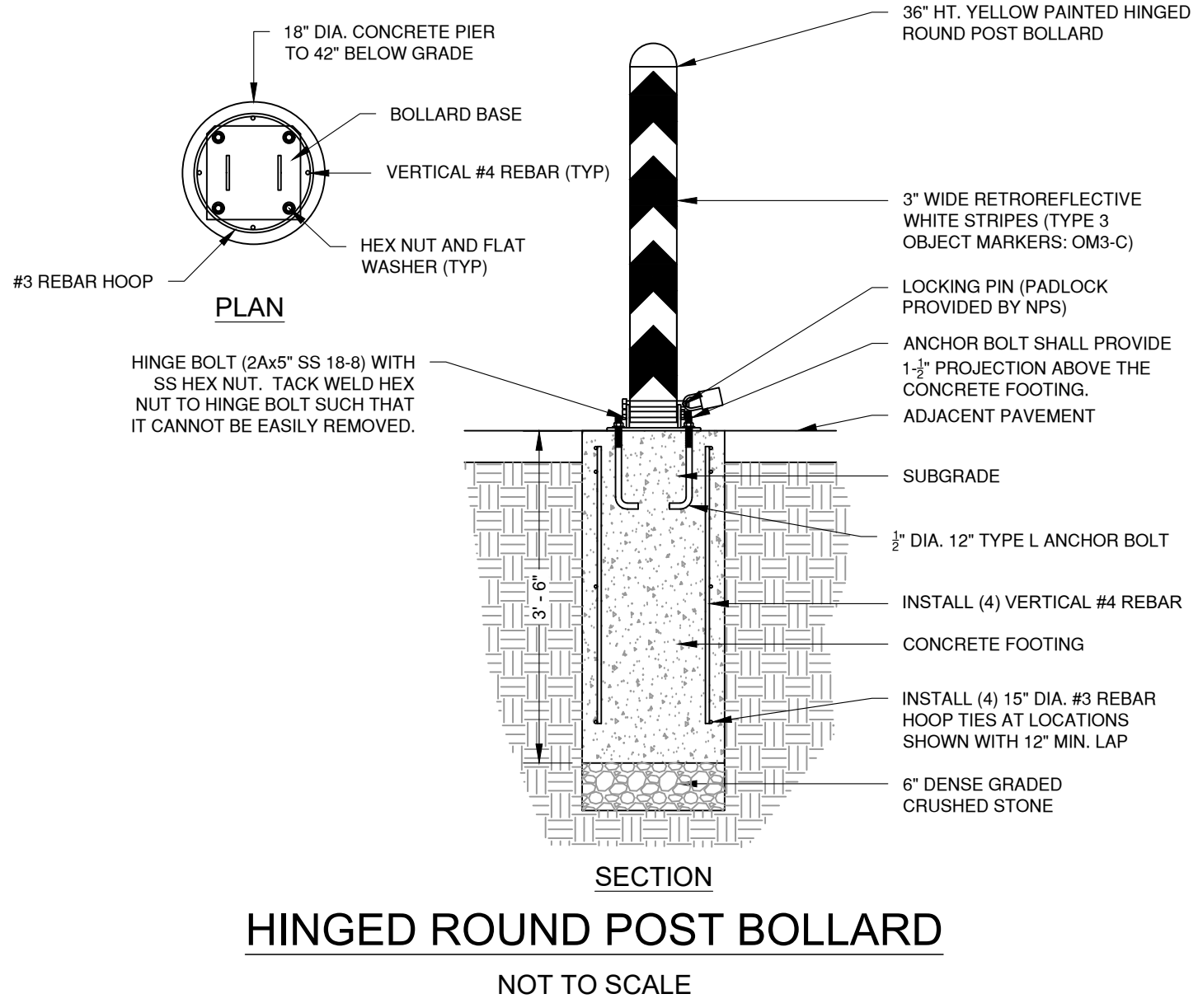
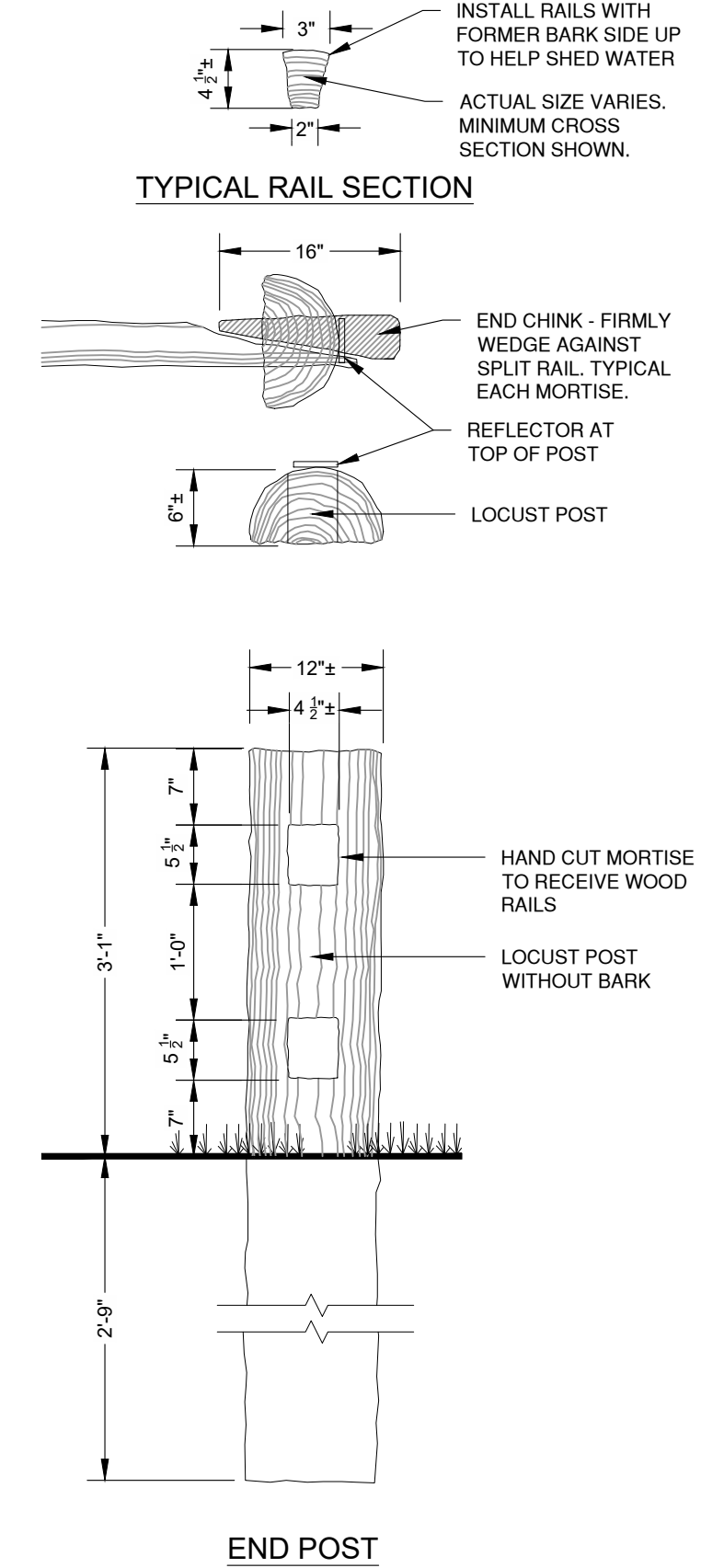
Coastal Engineering Co., Inc. © 2023
C2.4.1
8 OF 10 SHEETS
PROJECT NO. C19966.00

ISSUED FOR CONSERVATION
COMMISSION REVIEW

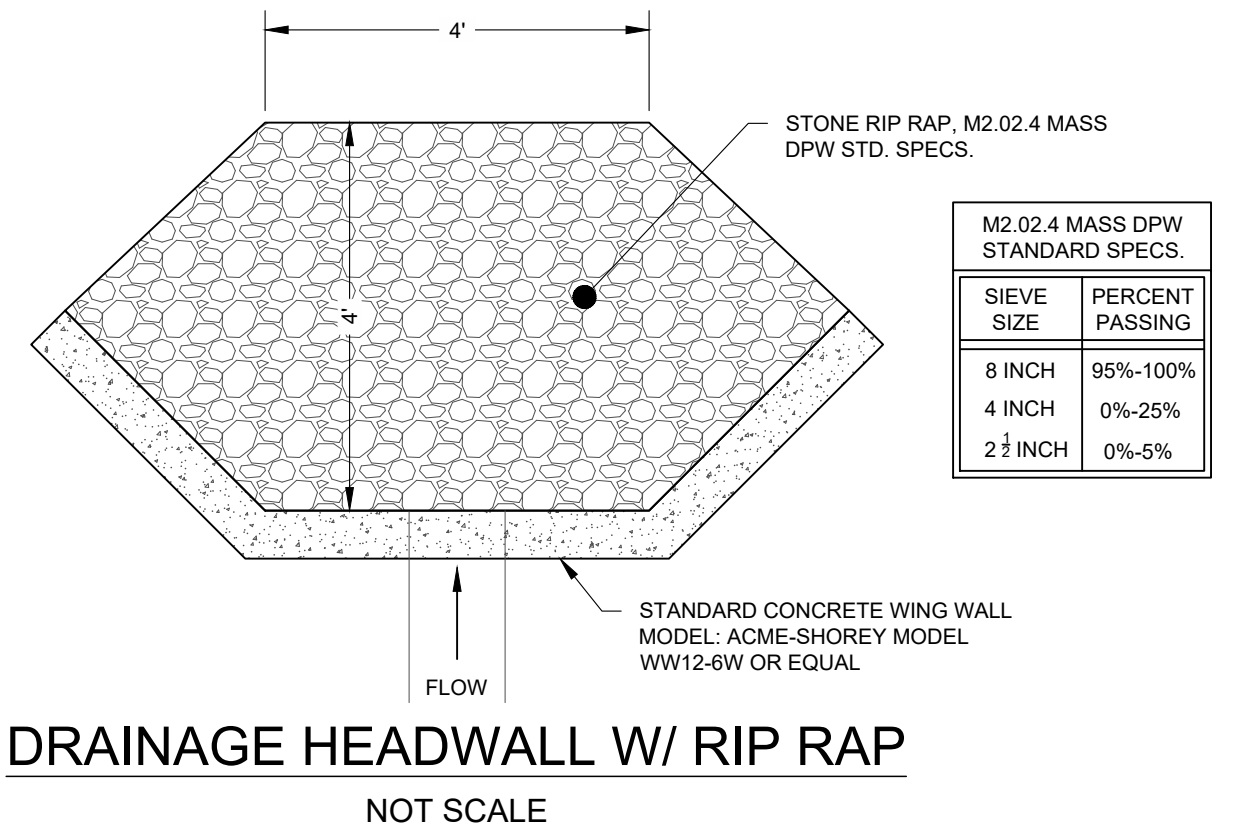
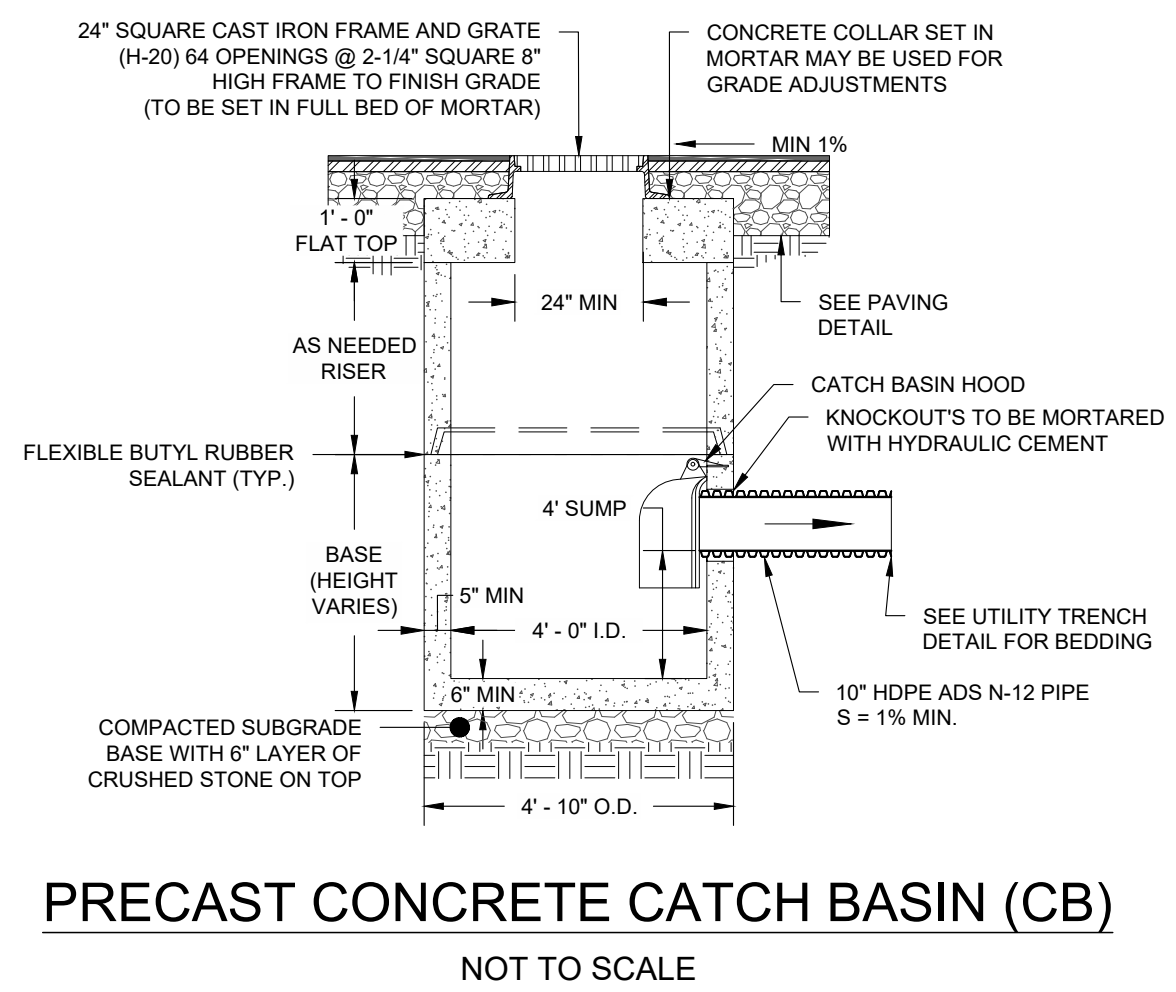
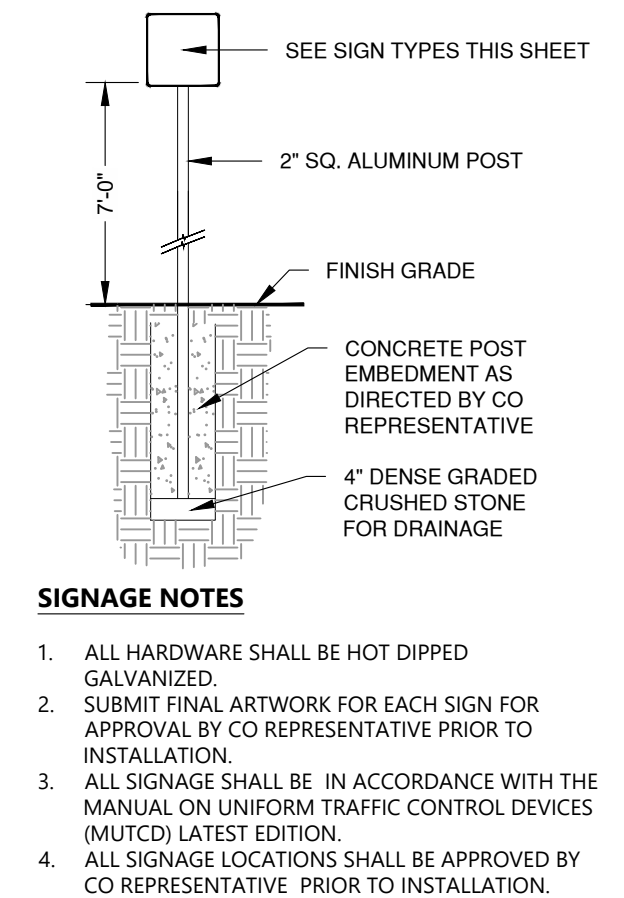
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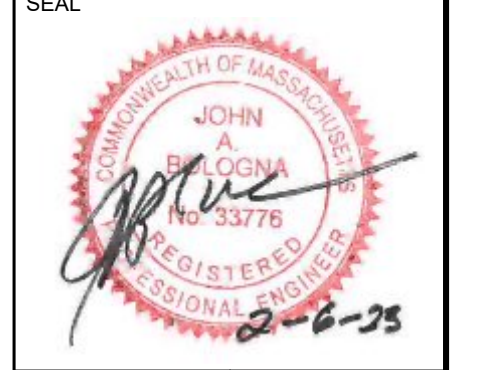
SPLIT RAIL FENCE - TWO RAIL
NOT TO SCALE



QUANTITY	M.U.T.C.D. NUMBER	SPECIFICATION		DETAIL
		WIDTH	HEIGHT	
2	R1-1	18"	18"	
2	W3-1A	18"	18"	
2	W7-5	18"	18"	
2	N/A	12"	18"	



NO.	DATE	REVISION	BY



PROJECT	CAPE COD NATIONAL SEASHORE
PROVINCE/TOWN, MA	PROVINCETOWN, MA
ROUTE & BIKE TRAIL CONNECTOR	ROUTE 6 BIKE TRAIL CONNECTOR
SHEET TITLE	SITE DETAILS II
SCALE	AS NOTED
DRAWING FILE	C19966-CIV-HC.dwg
DATE	02/06/2023
DRAWN BY	JJB
CHECKED BY	JAB

ISSUED FOR CONSERVATION COMMISSION REVIEW

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EROSION & SEDIMENTATION CONTROL NOTES

- CONFORM TO THE TOWN OF PROVINCETOWN ORDER OF CONDITIONS.
- DEMOLITION AND SITE WORK CONTRACTORS TO ASCERTAIN THE LOCATION OF UNDERGROUND UTILITIES AND CONTACT DIG SAFE PRIOR TO EXCAVATION/ DEMOLITION.
- THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL, PROTECTION OF DRAINAGE STRUCTURES, AND MANAGEMENT OF STORMWATER RUNOFF UNTIL COMPLETION OF SITE-WORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.
- THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHALL BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
- INSTALL CATCH BASIN INLET PROTECTION IN ALL CATCH BASINS AND YARD DRAINS WITHIN THE WORK LIMIT.
- SEDIMENT BARRIERS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.
- IF SEDIMENT ESCAPES THE CONSTRUCTION WORK LIMIT, THE OFF-SITE SEDIMENT SHALL BE REMOVED.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

1. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

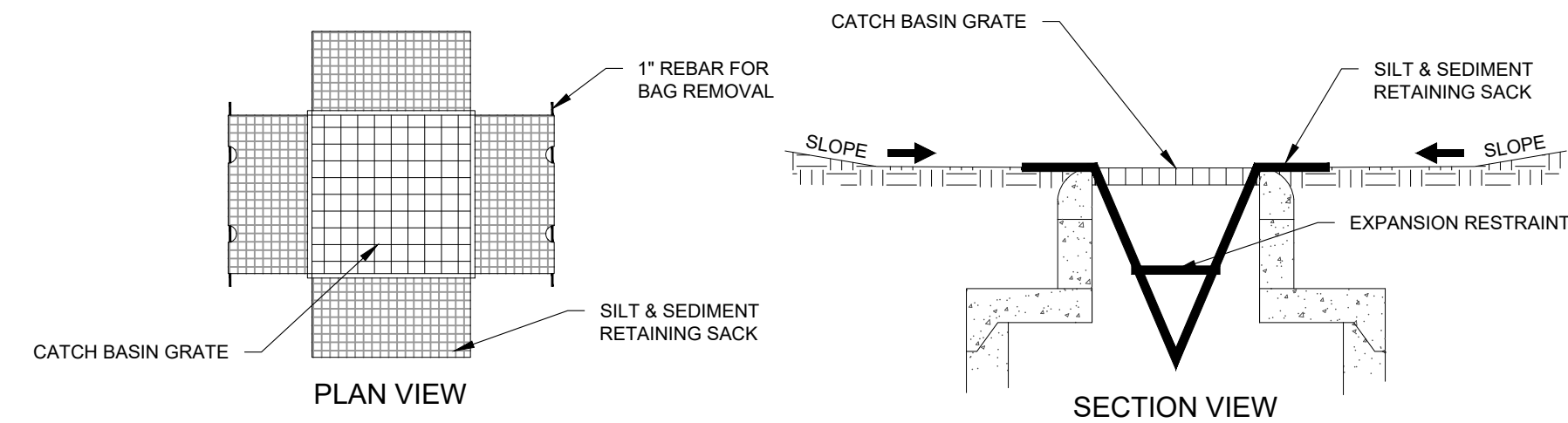
2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

STABILIZATION SPECIFICATIONS

- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT TRAIL, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. SEEDED AREAS WITHIN 50 OF SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- SEED MIX SHALL BE A NATIVE CAPE COD CONSERVATION MIX AND SHALL BE APPROVED BY THE PARKS PLANT ECOLOGIST PRIOR TO USE.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED.
- STRAW MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW. THIS METHOD IS LIMITED TO SLOPES NO STEEPER THAN 3:1. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. (NOTE: CRIMPING OF STRAW BY RUNNING OVER IT WITH TRACKING MACHINERY IS NOT RECOMMENDED.)
- JUTE NETTING SHALL BE BIODEGRADABLE WITH BIODEGRADABLE STAPLES AND SHALL BE USED IN DISTURBED AREAS EXCEEDING A 3:1 SLOPE.

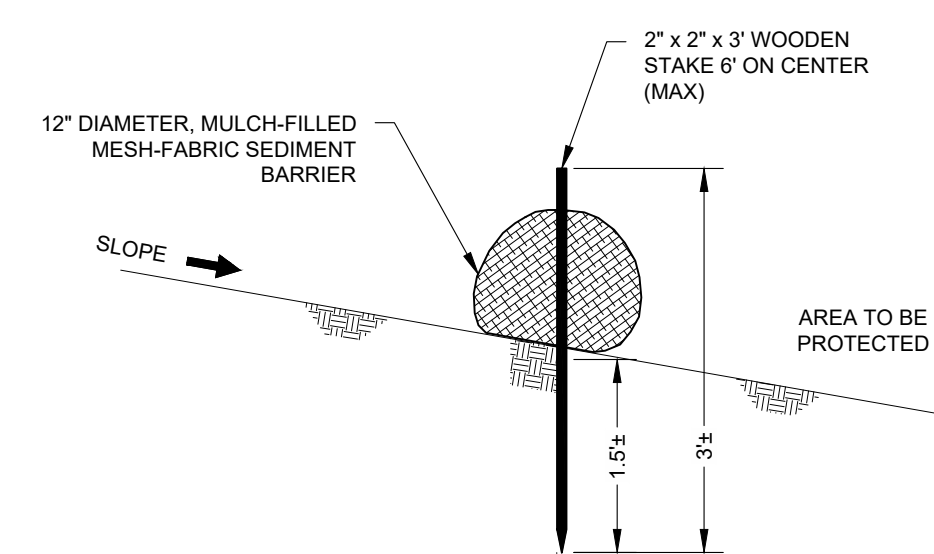
MAINTENANCE PROGRAM

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENEWING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- THE CONTRACTOR MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
 - A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
 - THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE REINCORPORATED INTO MATERIAL USED FOR GRADING.



- NOTES:
- GRATE IS TO BE SET OVER SILT & SEDIMENT RETAINING SACK.
 - INSPECT ALL SILT & SEDIMENT RETAINING SACKS AFTER EACH PRECIPITATION EVENT AND EMPTY SACKS WHEN MORE THAN HALF FULL.

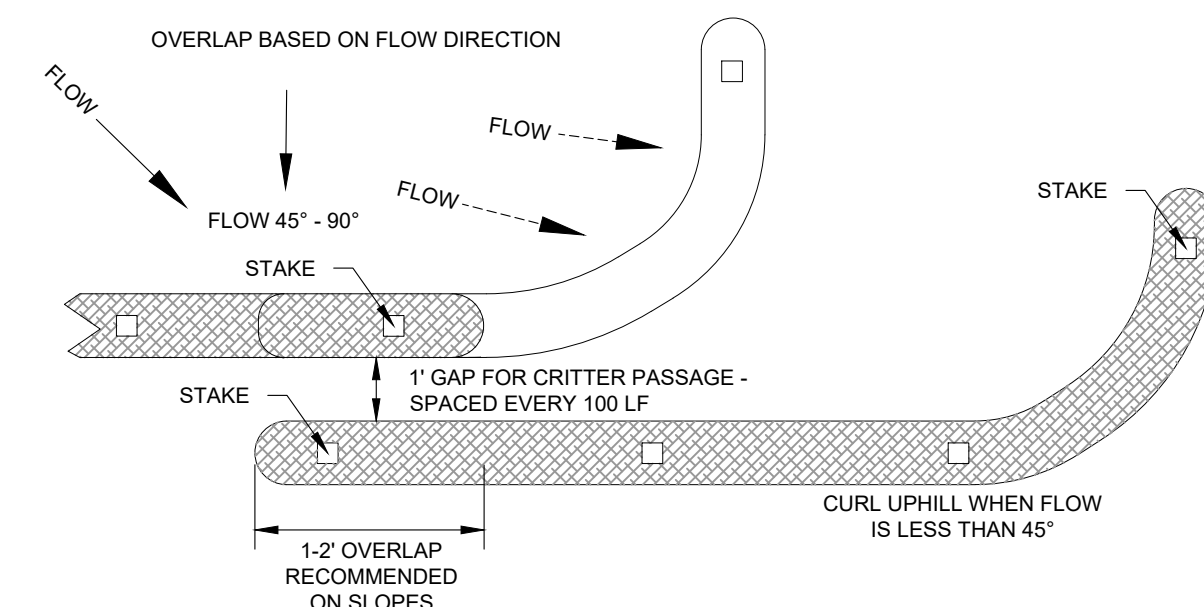
CATCH BASIN INLET PROTECTION DETAIL
NOT TO SCALE



SEDIMENTATION BARRIER DETAIL
NOT TO SCALE

- NOTES:
- SLEEVE ENDS OF MESH-FABRIC SECTIONS TOGETHER TO FORM A CONTINUOUS SEDIMENT BARRIER.
 - SILTATION BARRIER SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL RE-VEGETATION OF AREA DISTURBED BY CONSTRUCTION.
 - AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED PRIOR TO COMPLETION OF PROJECT.
 - SEDIMENT SHALL BE REMOVED FROM BARRIER WHEN DEPTH EXCEEDS 1/2 THE HEIGHT OF THE BARRIER.

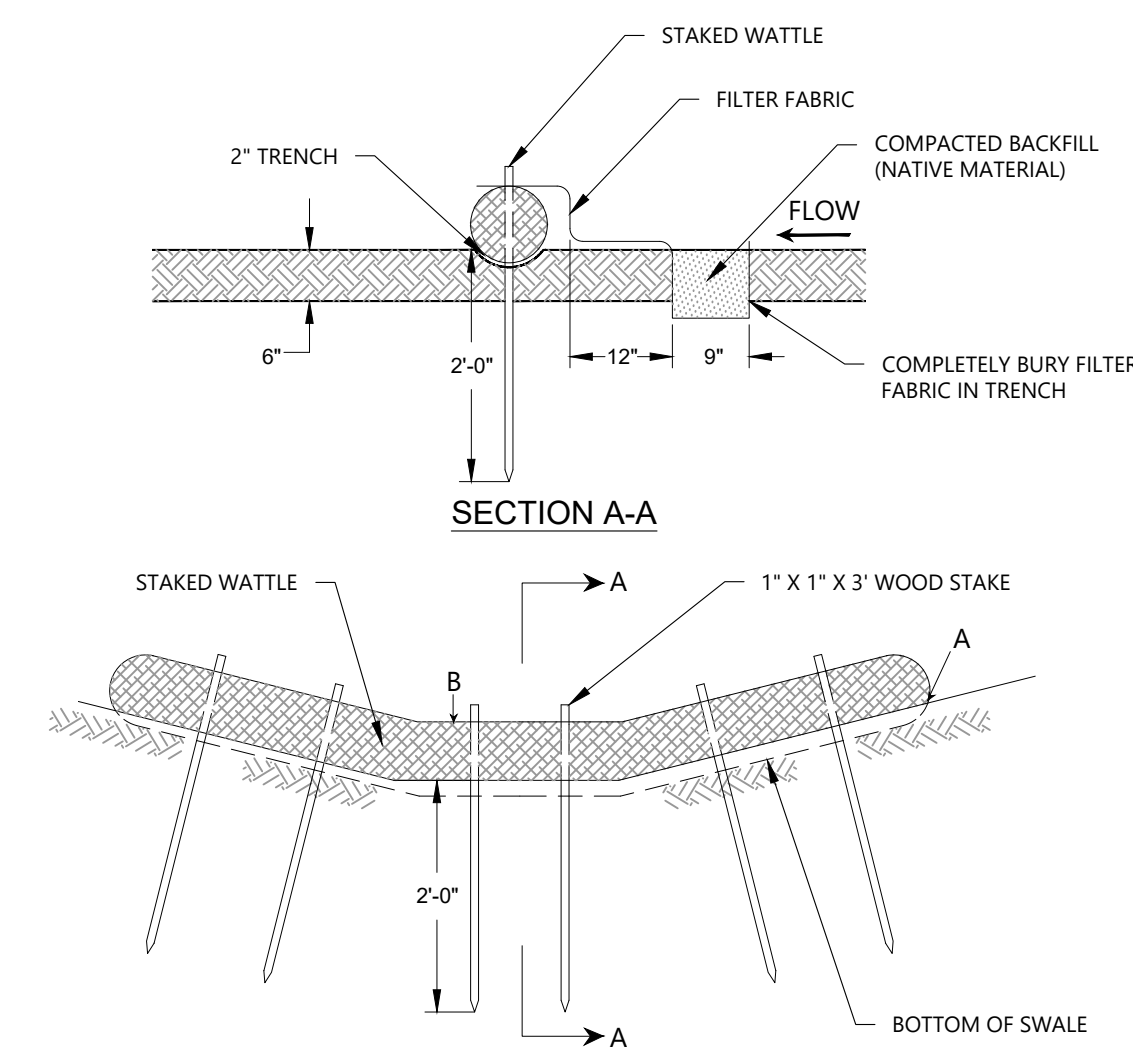
PERIMETER CONTROL & OVERLAPPING



- NOTES:
- INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - REFER TO REGULATORY AUTHORITY OR PROJECT ENGINEER FOR DETAILED INSTALLATION PROCEDURES.
 - WOOD FILLER MATERIAL SHALL BE PROPERLY SIZED, BIODEGRADABLE, WEED, SEED & DISEASE FREE AND ENVIRONMENTALLY SOUND.
 - DO NOT OVERLAP THE ENDS OF THE WATTLES OVER TOP OF EACH OTHER.
 - WATTLE CASING MATERIAL SHALL BE 0.5"x0.5" OPENING, HD SYNTHETIC, UV PROTECTED MATERIAL, CYLINDRICAL WITH CLOSED ENDS.
 - STAKES SHALL PROTRUDE SEVERAL INCHES ABOVE THE WATTLE. CONTRACTOR SHALL USE 18" STAKE FOR HARD, ROCKY SOIL, AND 24" STAKE FOR SOFT, LOAMY SOIL. THE DIAMETER OF THE STAKE SHOULD BE APPROXIMATELY 1" FOR EASE OF DRIVING THROUGH THE WATTLE.
 - FOR FLAT GROUND APPLICATIONS IT MAY NOT BE NECESSARY TO STAKE THE WATTLES.

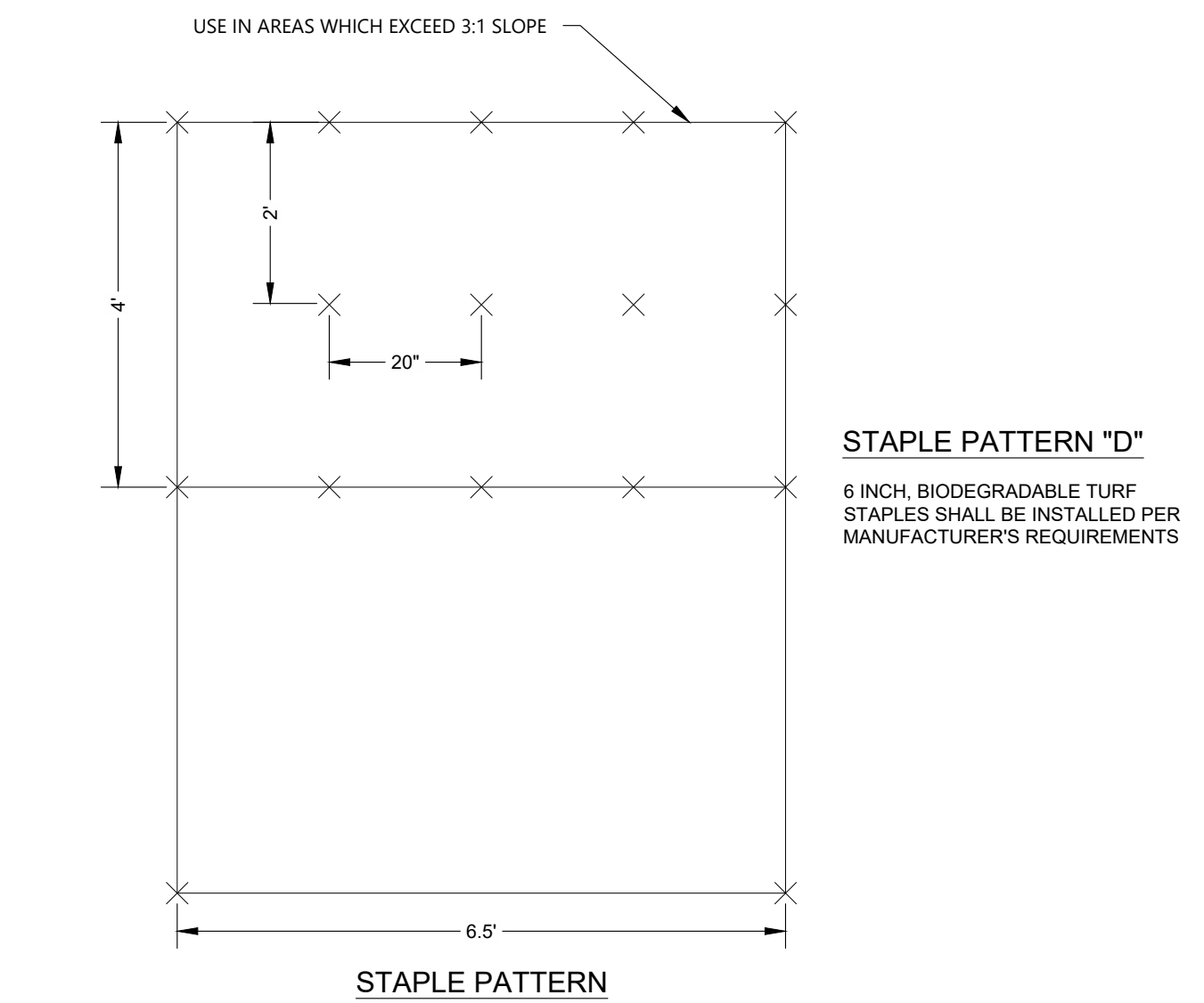
STRAW WATTLE INSTALLATION GUIDELINES

NOT TO SCALE



STRAW WATTLE CHECKDAM
NOT TO SCALE

- NOTES:
- THIS CHECKDAM SHALL BE INSTALLED IN A DRAINAGE SWALE AS INDICATED ON THE DRAWINGS. LOCATIONS MAY BE ADJUSTED IN THE FIELD AS REQUIRED BY THE NPS CONTRACTING OFFICERS.
 - WATTLES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.



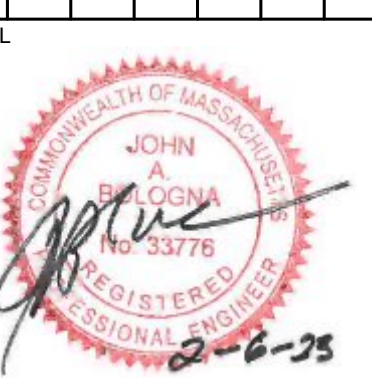
- NOTES:
- PREPARE SOIL BEFORE INSTALLING BLANKETS.
 - BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6 INCH DEEP BY 6 INCH WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
 - PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6 INCH OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4 INCHES APART TO SECURE BLANKETS.
 - FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN A 6 INCH DEEP BY 6 INCH WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4 INCHES OVER THE CENTER BLANKET AND STAPLED.
 - IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4 INCHES APART OVER ENTIRE WIDTH OF CHANNEL. PLACE A SECOND ROW 4 INCHES BELOW THE FIRST ROW IN A STAGGERED PATTERN.
 - THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6 INCH DEEP BY 6 INCH WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

BIODEGRADABLE JUTE NETTING INSTALLATION

NOT TO SCALE

ISSUED FOR CONSERVATION
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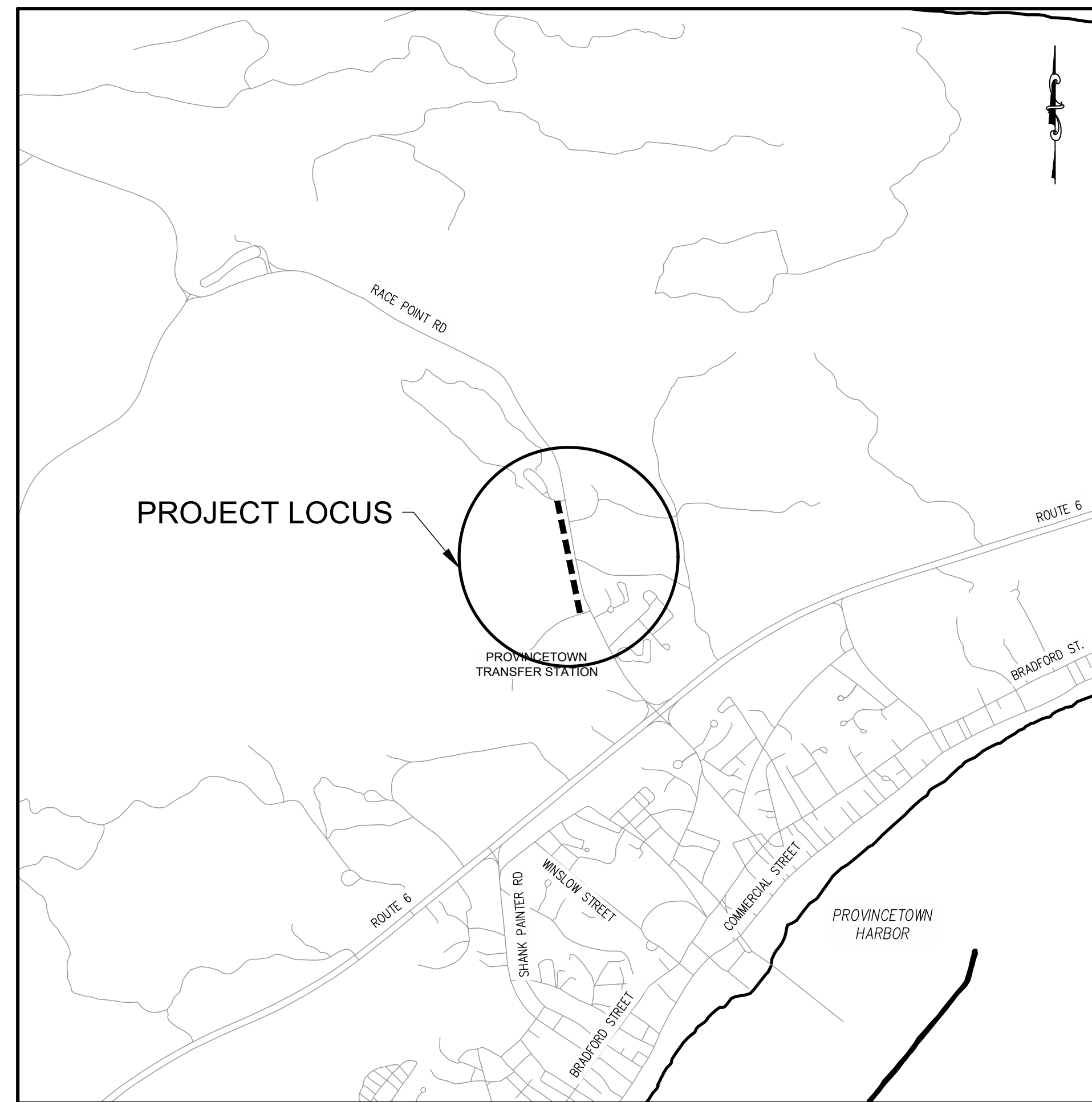
PROJECT: CAPE COD NATIONAL SEASHORE
PROVINCETOWN, MA
ROUTE 6 BIKE TRAIL CONNECTOR
SHEET TITLE: SITE DETAILS III

SCALE:	AS NOTED
DRAWING FILE:	C19966-CIV-HC.dwg
DATE:	02/06/2023
DRAWN BY:	JJB
CHECKED BY:	JAB

HENRY GENERAL CONTRACTORS, INC.

CAPE COD NATIONAL SEASHORE BEECH FOREST TRAIL SPUR REPLACEMENT PROVINCETOWN, MA

SHEET NO.	INDEX DESCRIPTION
C.0.0.1	TITLE SHEET & INDEX
C2.0.1	SHEET LAYOUT KEY
C2.0.2	SITE DEMOLITION PLAN
C2.1.1	PROPOSED TRAIL PLAN & PROFILE I
C2.1.2	PROPOSED TRAIL PLAN & PROFILE II
C2.1.3	PROPOSED TRAIL PLAN & PROFILE III
C2.4.1	TYPICAL CROSS SECTIONS & SITE DETAILS
C2.4.2	SITE DETAILS II
C2.4.3	SITE DETAILS III



KEY MAP
1"=1250'

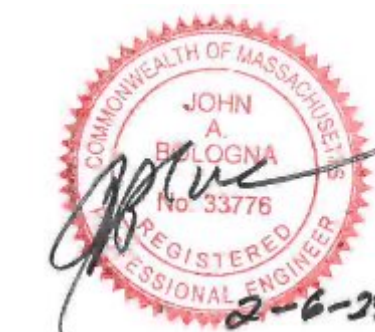
ISSUED FOR CONSERVATION
COMMISSION REVIEW
02/06/2023

NOTES:

1. THIS PLAN IS REFERENCED HORIZONTALLY TO THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM NORTH AMERICAN DATUM OF 1983, MAINLAND ZONE (NAD83 (2011) (MYCS2) EPOCH 2010.00) AND VERTICALLY TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BY RTK GPS OBSERVATIONS ON 08-29-2022 USING THE HXGN SMARTNET RTK NETWORK.
2. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY PERFORMED ON 08-29-2022 & 09-16-2022.
3. EXISTING UTILITIES, UNDERGROUND AND OVERHEAD, MAY EXIST IN ADDITION TO THE UTILITY INFORMATION SHOWN ON THESE PLANS. THIS PLAN MUST NOT BE USED TO LOCATE UNDERGROUND UTILITIES. CALL DIG SAFE AT 811 PRIOR TO STARTING ANY EXCAVATION.
4. THE PROPERTY LINES SHOWN ARE APPROXIMATE ONLY. THEY ARE A GRAPHICAL REPRESENTATION OF THE GENERAL LOT CONFIGURATION LIMITED TO THE AREA OF WORK AND HAVE NOT BEEN DETERMINED BY A REGISTERED PROFESSIONAL LAND SURVEYOR. THEREFORE THEY SHOULD NOT BE USED FOR ANY PURPOSE THAT WOULD REQUIRE AN ACTUAL BOUNDARY RETRACEMENT SURVEY.
5. FOLLOW MASSACHUSETTS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.

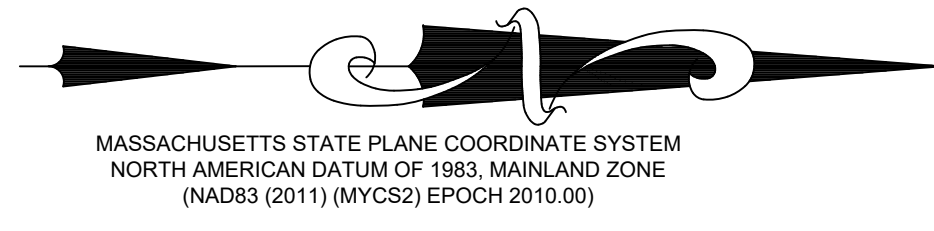
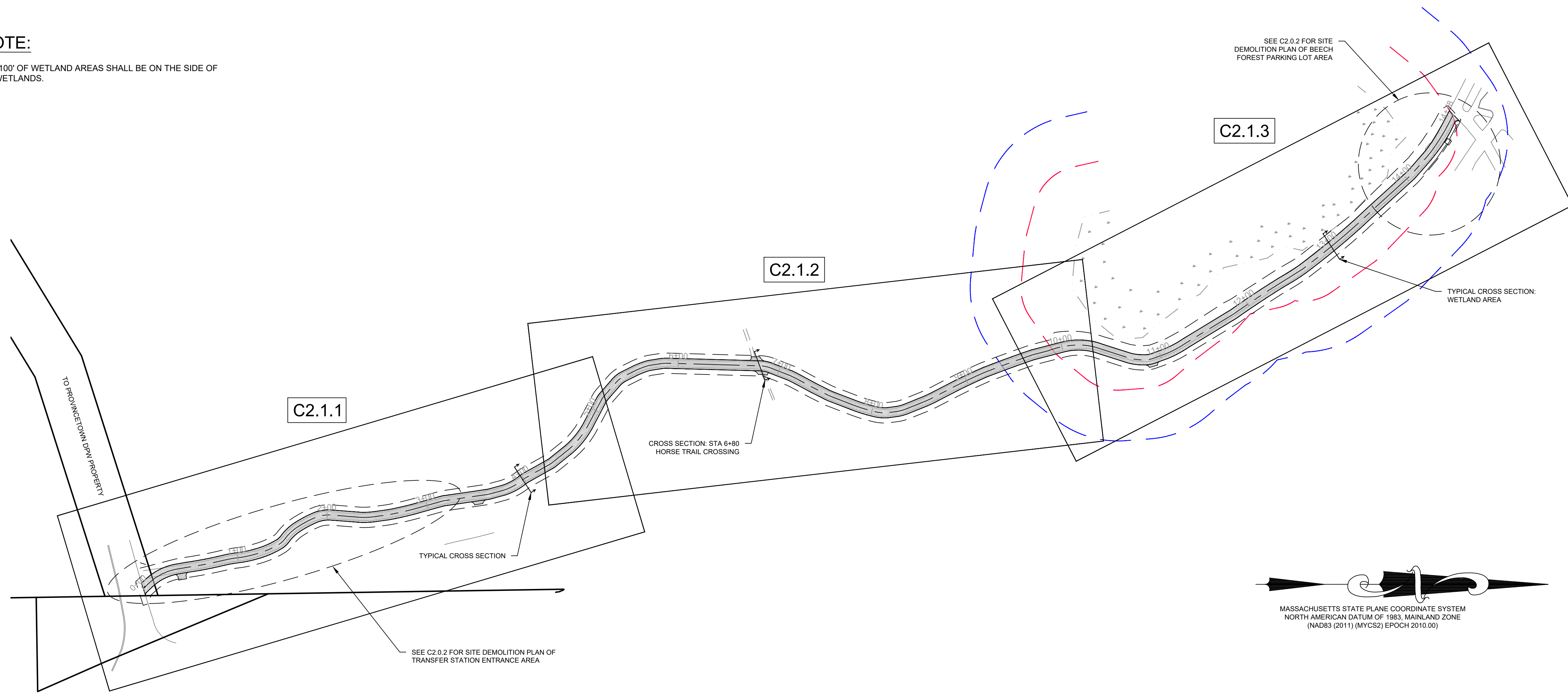
LEGEND

- ▲ BENCHMARK
- BOUND
- ⊙ SEPTIC MANHOLE
- CATCH BASIN
- ⊙ DRAIN MANHOLE
- ⊙ MISC. MANHOLE
- ☆ LIGHT POLE
- ⊙ ELECTRIC MANHOLE
- W1 △ WETLAND FLAG
- MISC. SIGN
- ⊙ POST
- ☀ CONIFER TREE
- ☀ DECIDUOUS TREE
- x23.5 SPOT ELEV.
- 20 --- CONTOUR
- DRAIN PIPE
- SPLIT RAIL FENCE

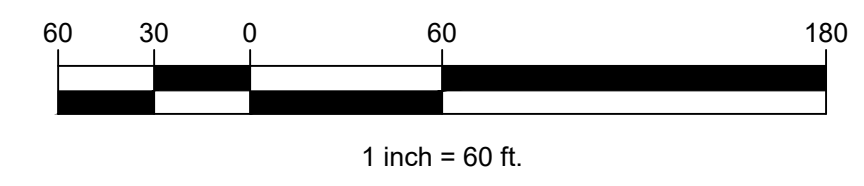


GENERAL NOTE:

TRAIL WIDENING WITHIN 100' OF WETLAND AREAS SHALL BE ON THE SIDE OF THE TRAIL AWAY FROM WETLANDS.



BEECH FOREST TRAIL SPUR



CONSTRUCTION NOTES

- CONFORM TO THE TOWN OF PROVINCETOWN ORDER OF CONDITIONS.
- CONTRACTOR SHALL FLAG ALL TREES TO BE REMOVED FOR CO REPRESENTATIVE APPROVAL PRIOR TO BEGINNING CONSTRUCTION.
- SEE CLEARING, DEMOLITION AND EROSION & SEDIMENT CONTROL PLAN FOR TREES TO BE CUT FLUSH WITH GROUND SURFACE AND TREES TO BE REMOVED ENTIRELY INCLUDING THE STUMP. NO STUMP SHALL BE VISIBLE AFTER FINAL GRADING. DO NOT DISTURB ROOTS EXCEPT AS NEEDED TO WIDEN PATH.
- PULVERIZE THE EXISTING ASPHALT AND USE FOR BASE MATERIAL FOR THE NEW ASPHALT. DO NOT PULVERIZE ANY DEEPER THAN THE EXISTING ASPHALT AND ANY ASSOCIATED BASED MATERIAL. CONTRACTOR TO VERIFY DEPTH OF BASE.
- COMPACT AND GRADE SHOULDERS WITH MATERIALS AND TO A WIDTH AS INDICATED ON THE DRAWINGS.
- ALL FILL AND AGGREGATE MATERIAL MUST BE ARCHEOLOGICAL AND SEED CERTIFIED. USE EXISTING MATERIAL FROM THE CONSTRUCTION SITE TO THE GREATEST EXTENT POSSIBLE.
- ADD CROSSWALK MARKINGS AT ALL PATH CROSSINGS (SEE DRAWINGS).
- NO CONSTRUCTION IS ALLOWED WITHIN WETLANDS. CONTRACTOR SHALL RE-ESTABLISH WETLAND FLAGGING PRIOR TO BEGINNING CONSTRUCTION.
- PROVIDE BENCHES AT AREAS SHOWN AND IN ACCORDANCE WITH THE DETAILS. BENCH STYLE TO BE APPROVED BY PARK. CONTRACTOR TO PROVIDE SUBMITTAL FOR APPROVAL.
- ALL STAGING AREAS TO BE APPROVED BY CO REPRESENTATIVE PRIOR TO CONSTRUCTION.
- TRUNCATED DOMES SHALL MEET THE REQUIREMENTS OF THE ARCHITECTURAL BARRIERS ACT ACCESSIBILITY STANDARDS (ABAAS).
- CONTRACTOR SHALL REMOVE ALL EXISTING SIGNS AND INSTALL NEW SIGNS AS INDICATED ON THE DRAWINGS.
- CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY THE CONTRACTOR PRIOR TO THE EXISTING TRAIL BEING DISTURBED.

TRAFFIC CONTROL NOTES

- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE MASSACHUSETTS HIGHWAY STANDARD DETAILS AND DRAWINGS FOR THE DEVELOPMENT OF TEMPORARY TRAFFIC CONTROL PLANS.
- FLAGGERS SHALL BE USED AT ROADWAY CROSSINGS DURING CONSTRUCTION.
- CONSTRUCTION PHASE TRAIL CLOSURE SIGNS SHALL BE INSTALLED PRIOR TO TRAIL CLOSURE AND SHALL REMAIN IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION. DETAILS AND VERBIAGE TO BE USED FOR THE SIGNS SHALL BE PROVIDED BY THE NATIONAL PARK SERVICE TO THE CONTRACTOR.

GENERAL NOTES

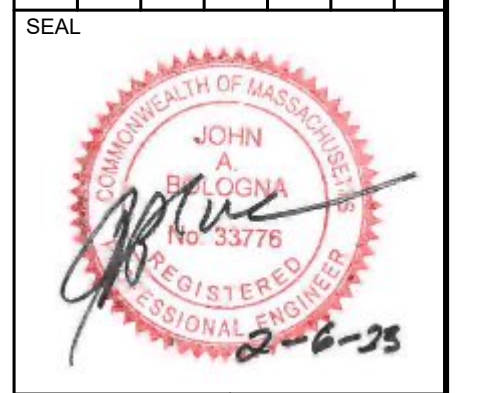
- BETWEEN SEPTEMBER 4TH AND OCTOBER 30TH, THE CONTRACTOR, PRIOR TO BEGINNING SITE WORK AT ANY TIME OF DAY, SHALL CONDUCT A BOX "TURTLE SWEEP" AS THE CONTRACTOR PROCEEDS INTO A NEW SECTION OF PATH WITH VEHICLES AND EQUIPMENT. THE "TURTLE SWEEP" SHALL BE CONDUCTED BY A PERSON ON FOOT SO TURTLES ARE NOT DRIVEN OVER/CRUSHED.
- ALL TREE CUTTING AND GRUBBING SHALL BE COMPLETED BY MARCH 31 TO ACCOMMODATE THE EASTERN LONG EARED BAT ROOSTING SEASON.

CONSTRUCTION SEQUENCE

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING, AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL (E&S) PLAN. A COPY OF THE APPROVED DRAWINGS MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE.
- INSTALL EROSION AND SEDIMENT CONTROLS PER THE CONSTRUCTION DETAILS AND LOCATIONS PROVIDED ON THE PLANS.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, DIG SAFE SHALL BE NOTIFIED AT 1-800-DIG-SAFE FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS.
- THE CONTRACTOR TO CLEAR AND GRUB AREAS ONLY REQUIRED TO BE CLEARED FOR THE PROPOSED CONSTRUCTION.
- ALL MATERIAL EXCAVATED FROM THE SITE SHALL BE STOCKPILED FOR REUSE. REUSE MATERIAL ON SITE TO THE EXTENT POSSIBLE.
- THE STABILIZED STAGING AREAS SHOULD BE LOCATED IN A PAVED PARKING AREA AS DESIGNATED BY CO REPRESENTATIVE. APPROVAL OF ALL STAGING AND STOCKPILE AREAS BY CO REPRESENTATIVE IS REQUIRED PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR SHALL BEGIN PULVERIZING OF EXISTING ASPHALT.
- INSTALL TRAIL SURFACE PAVING AS INDICATED ON THE DRAWINGS.
- CONDUCT FILLING AND GRADING AS SPECIFIED.
- THE CONTRACTOR SHALL MAINTAIN ALL SOIL EROSION AND SEDIMENTATION CONTROLS UNTIL FINAL STABILIZATION.
- COMPLETE GRADING, PERMANENT STABILIZATION AND SEEDING OF ALL DISTURBED AREAS.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL SHALL BE STABILIZED IMMEDIATELY.

ISSUED FOR CONSERVATION COMMISSION REVIEW

NO.	DATE	REVISION	BY

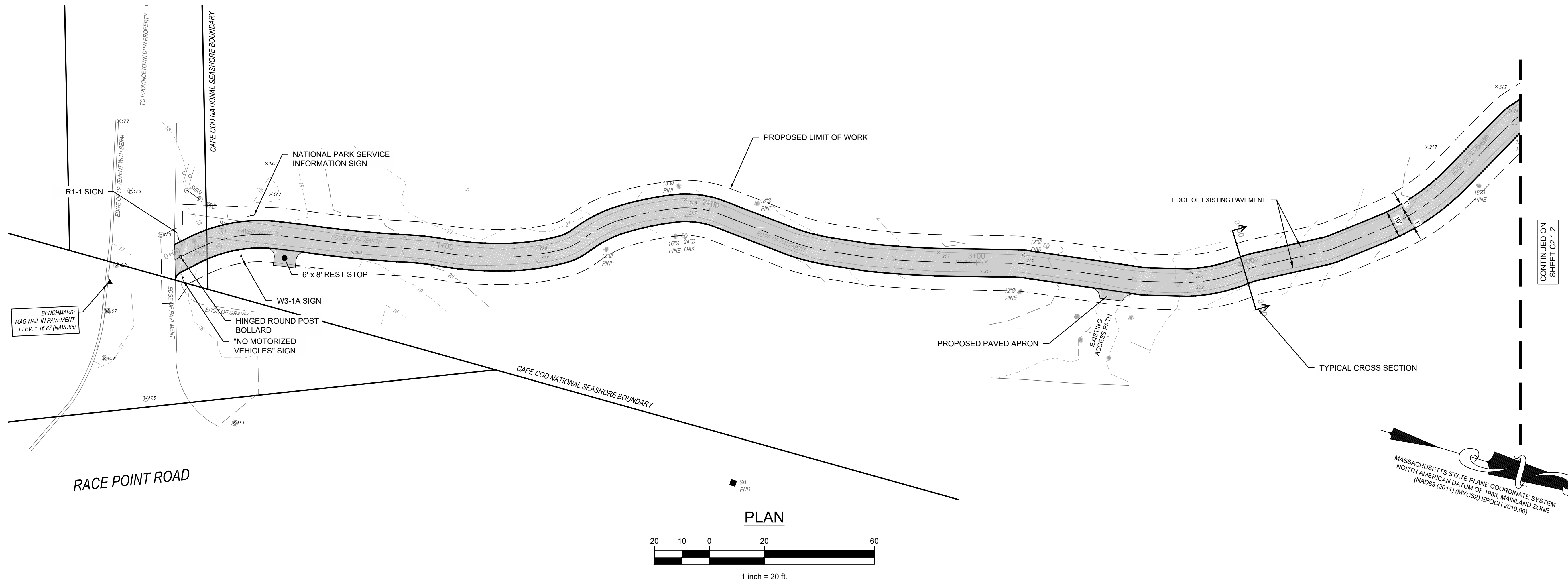


PROJECT: CAPE COD NATIONAL SEASHORE
PROVINCETOWN, MA
BEECH FOREST TRAIL SPUR
SHEET TITLE: SHEET LAYOUT KEY

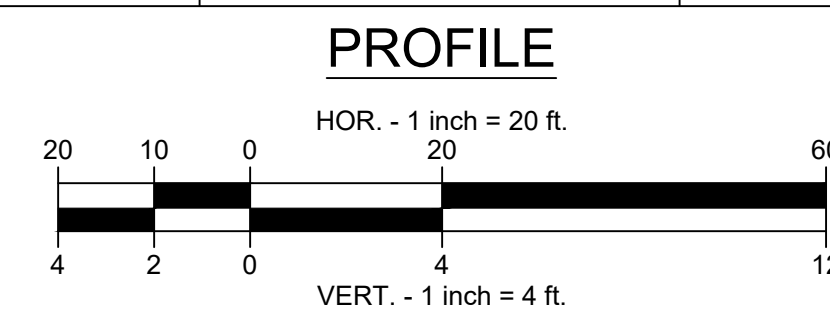
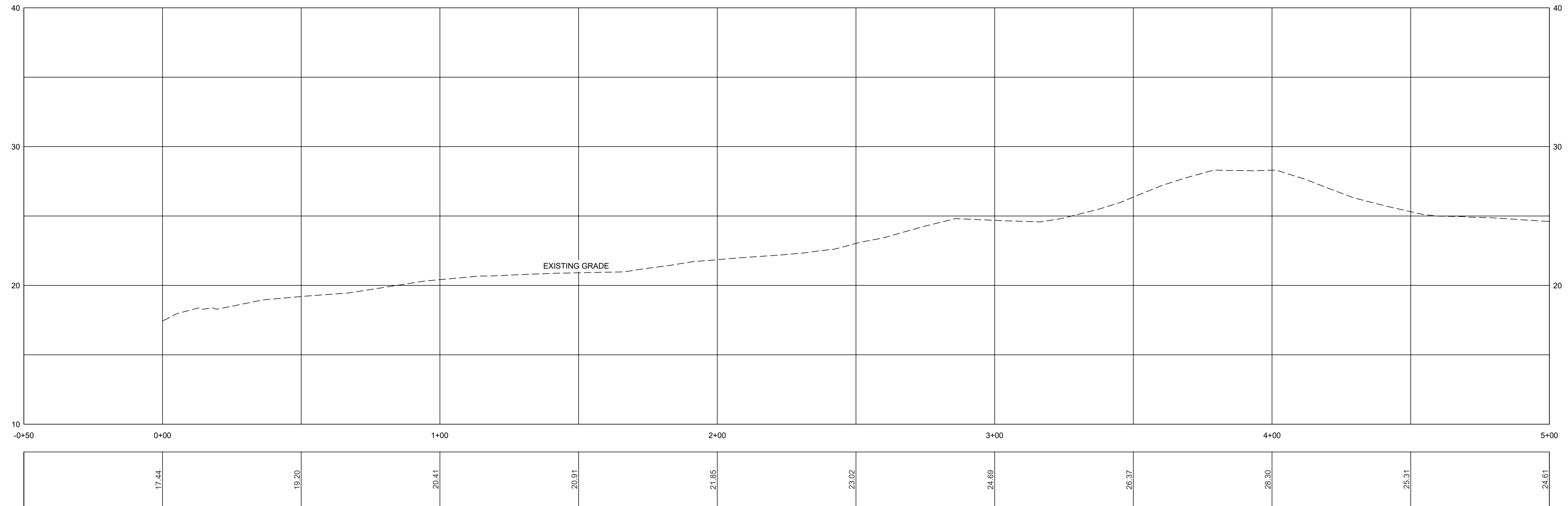
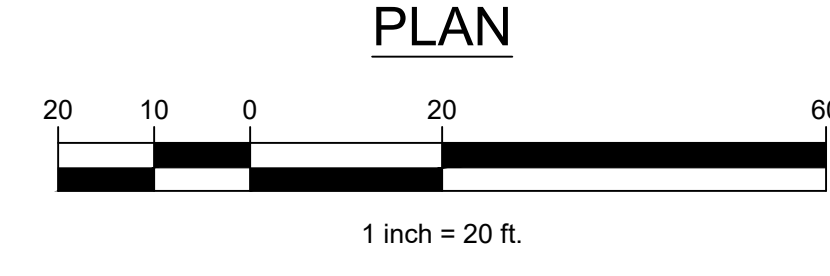
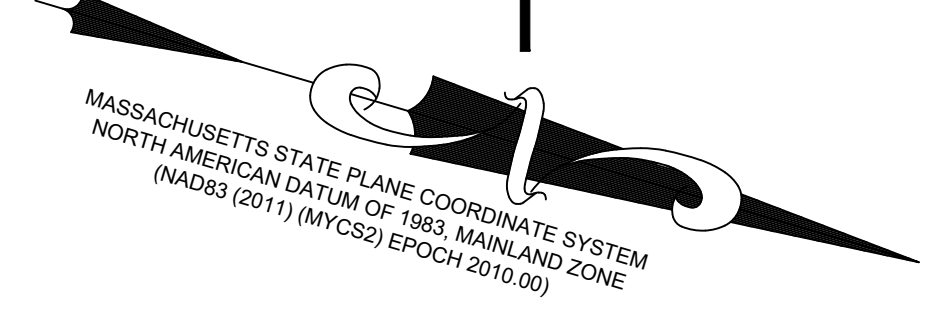
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DATE: 02/06/2023
DRAWN BY: JJB
CHECKED BY: JAB

C2.0.1
2 OF 3 SHEETS
PROJECT NO. C19966.00

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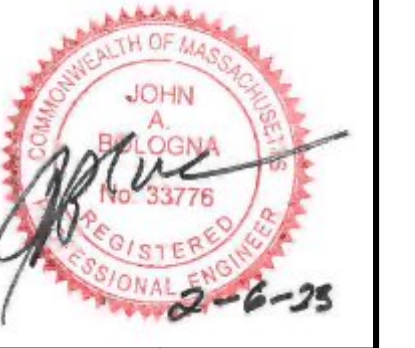


CONTINUED ON
SHEET C2.1.2



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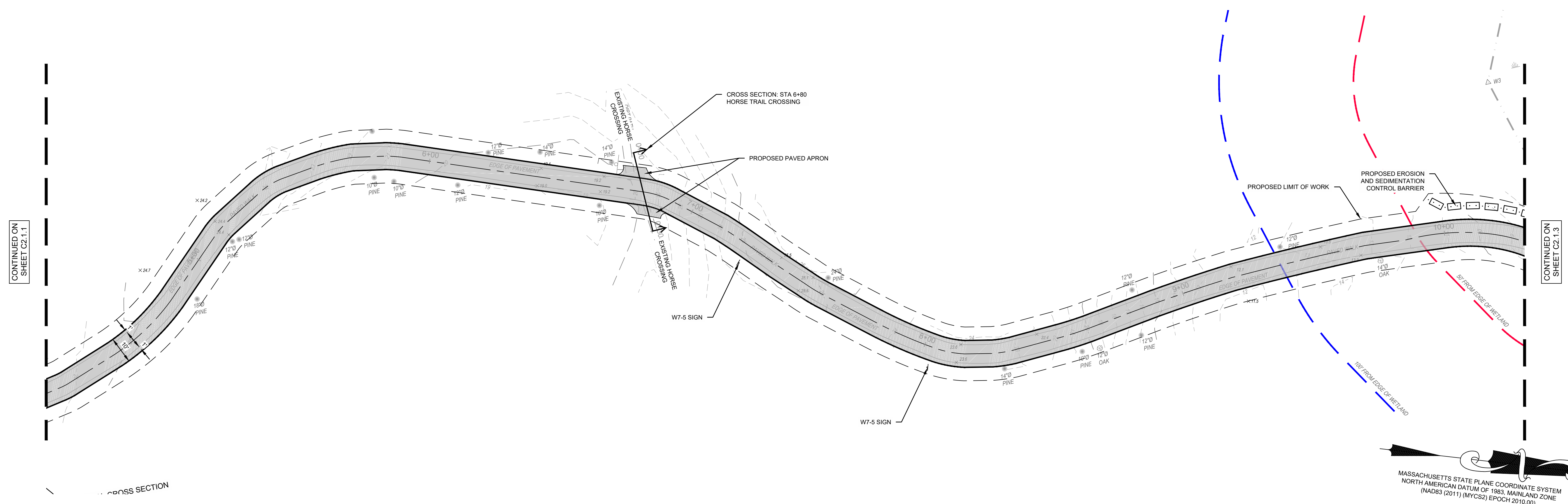


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SCALE	AS NOTED
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DATE	02/06/2023
DRAWN BY	JJB
CHECKED BY	JAB
PROJECT NO.	C19966.00

C2.1.1

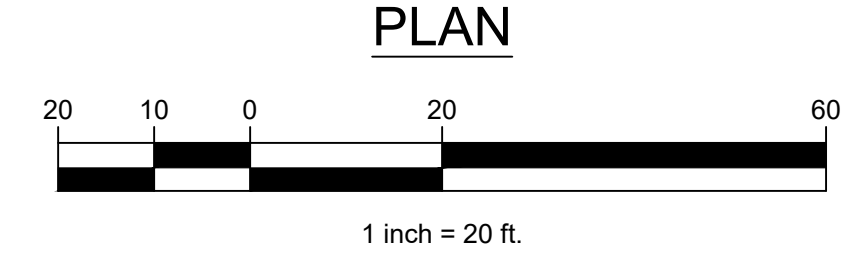
4 OF 9 SHEETS

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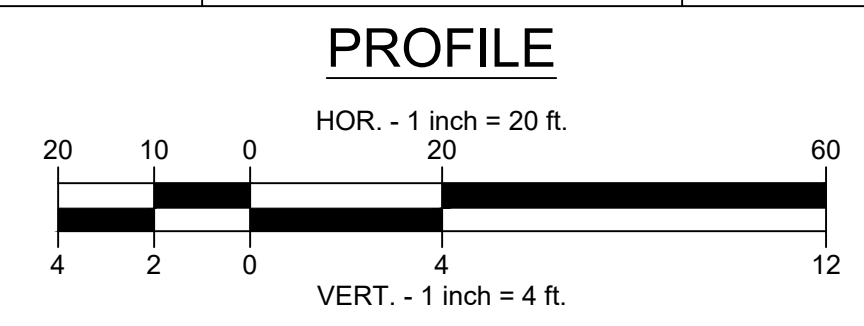
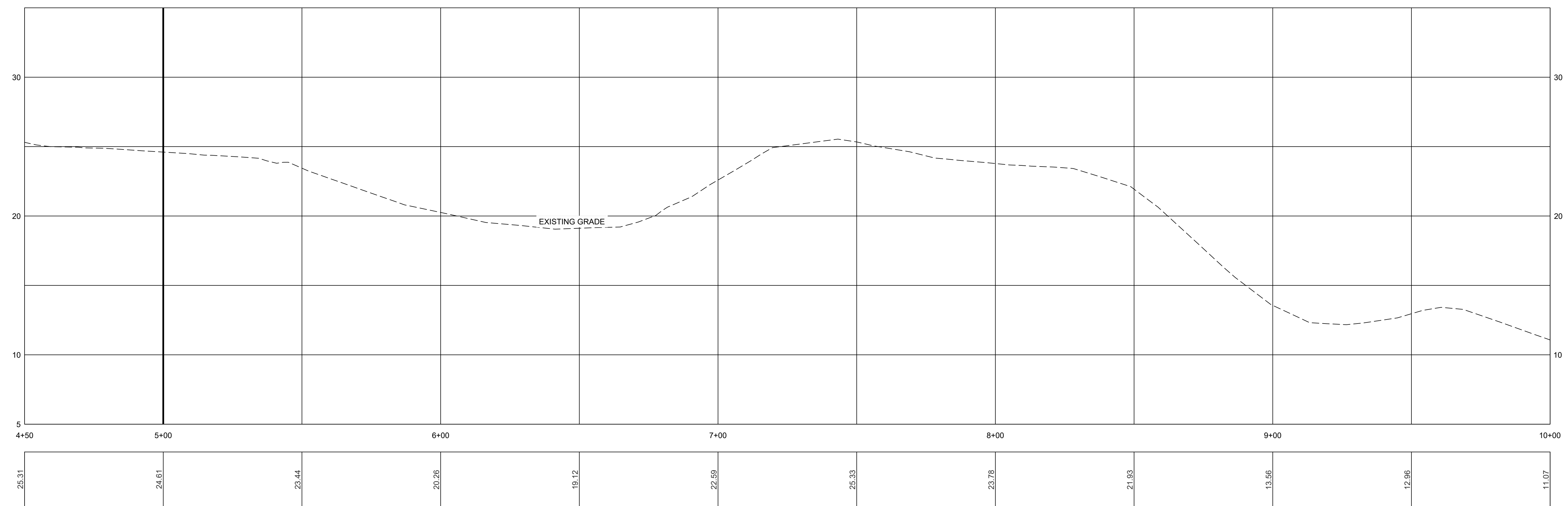


GENERAL NOTE:

TRAIL WIDENING WITHIN 100' OF WETLAND AREAS SHALL BE ON THE SIDE OF THE TRAIL AWAY FROM WETLANDS.



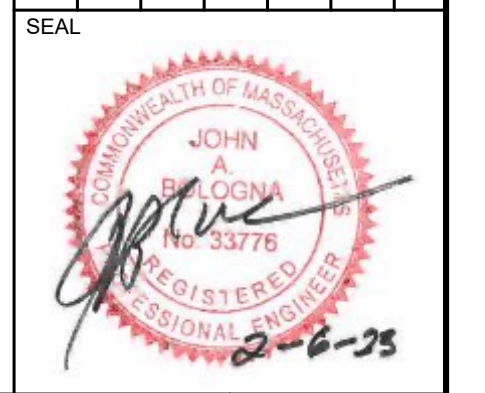
PLAN



PROFILE

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NO.	DATE	REVISION	BY



PROJECT
CAPE COD NATIONAL SEASHORE
BEECH FOREST TRAIL SPUR
PROVINCETOWN, MA

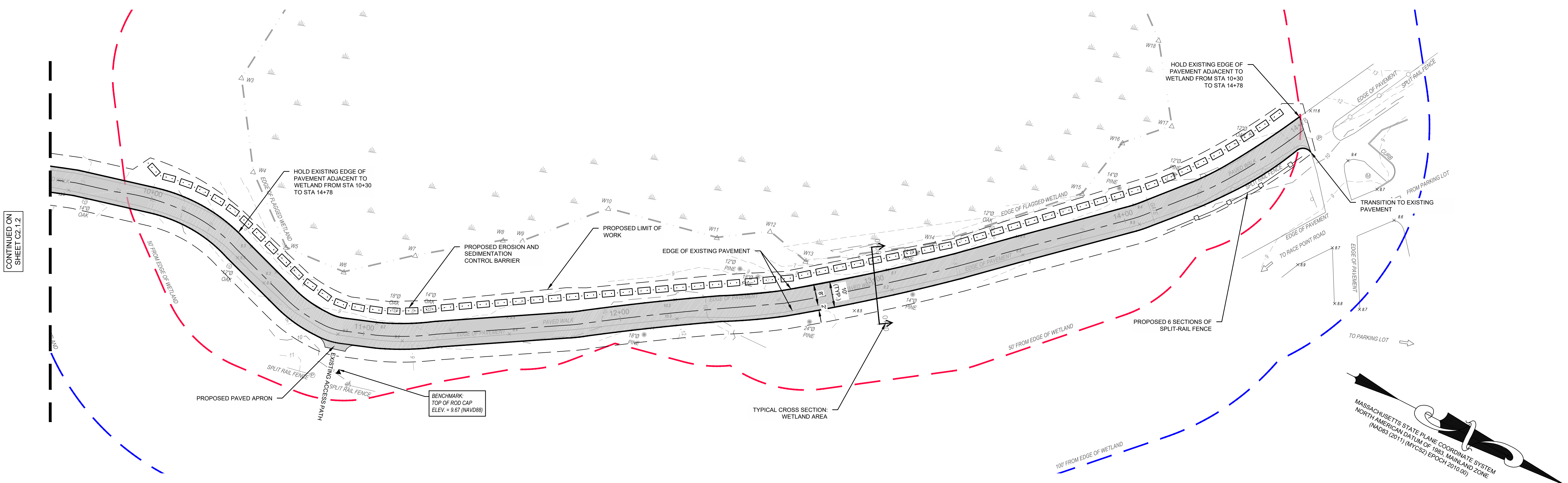
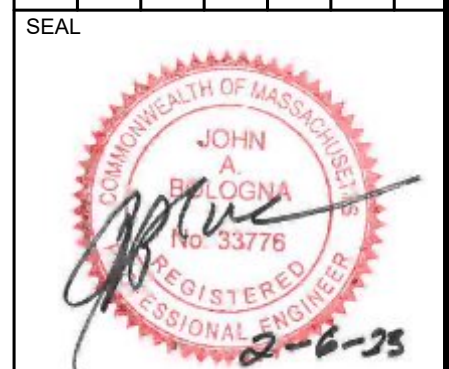
SHEET TITLE
PROPOSED TRAIL PLAN & PROFILE II

SCALE: AS NOTED
DRAWING FILE: C19966-CIV-BF.dwg
DATE: 02/06/2023
DRAWN BY: JJB
CHECKED BY: JAB

C2.1.2
5 OF 9 SHEETS
PROJECT NO. C19966.00

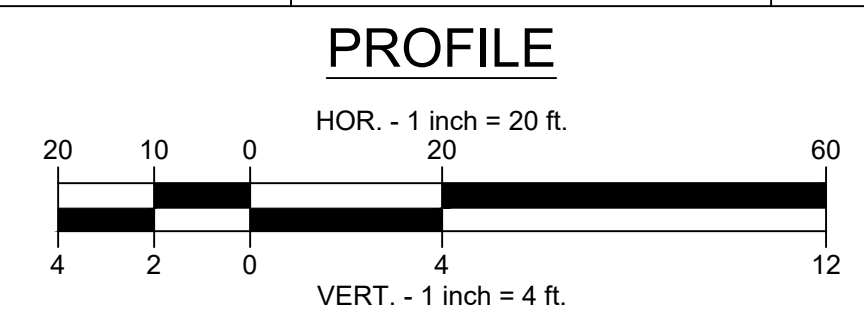
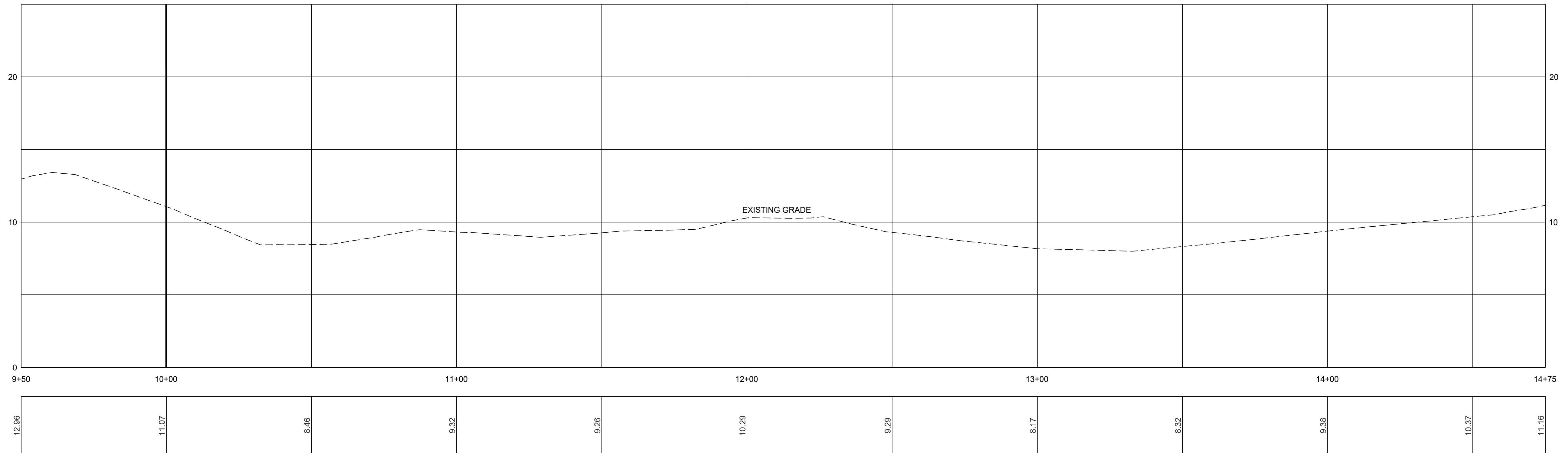
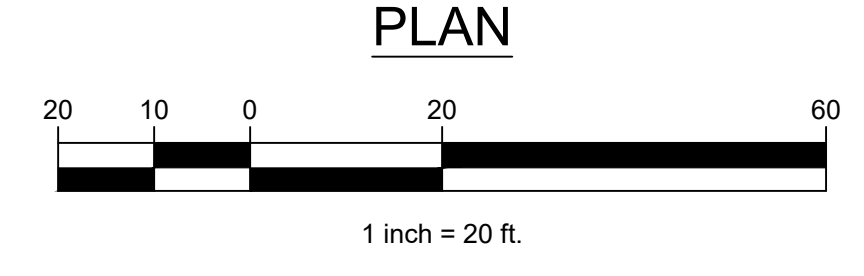
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NO.	DATE	REVISION	BY



GENERAL NOTE:

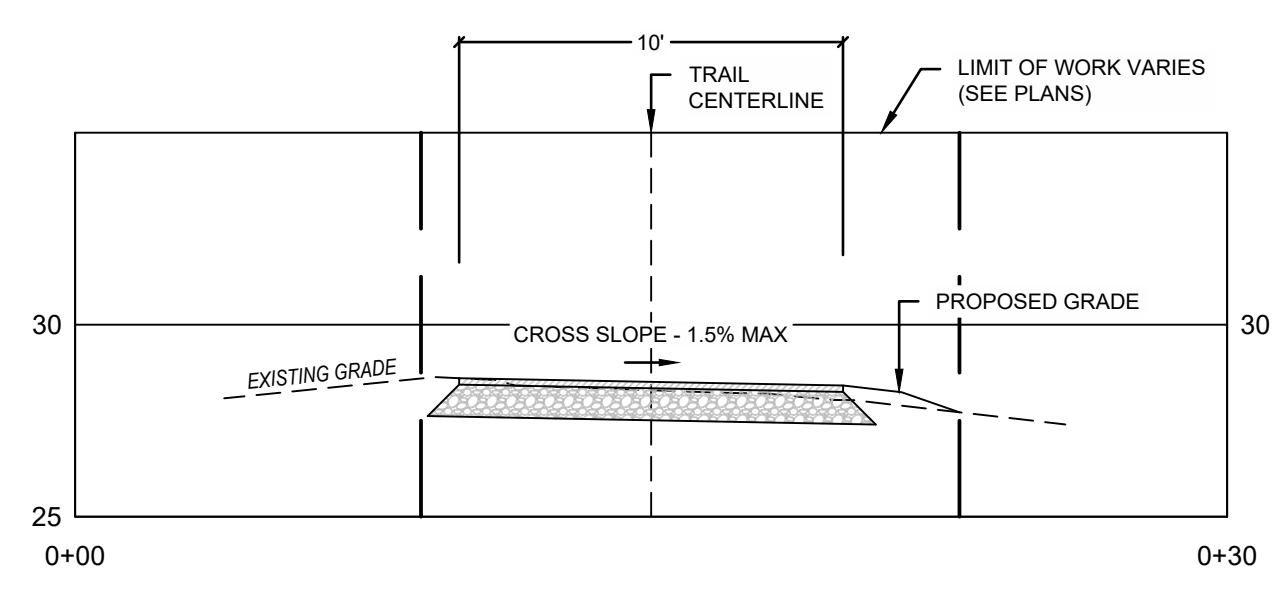
TRAIL WIDENING WITHIN 100' OF WETLAND AREAS SHALL BE ON THE SIDE OF THE TRAIL AWAY FROM WETLANDS.



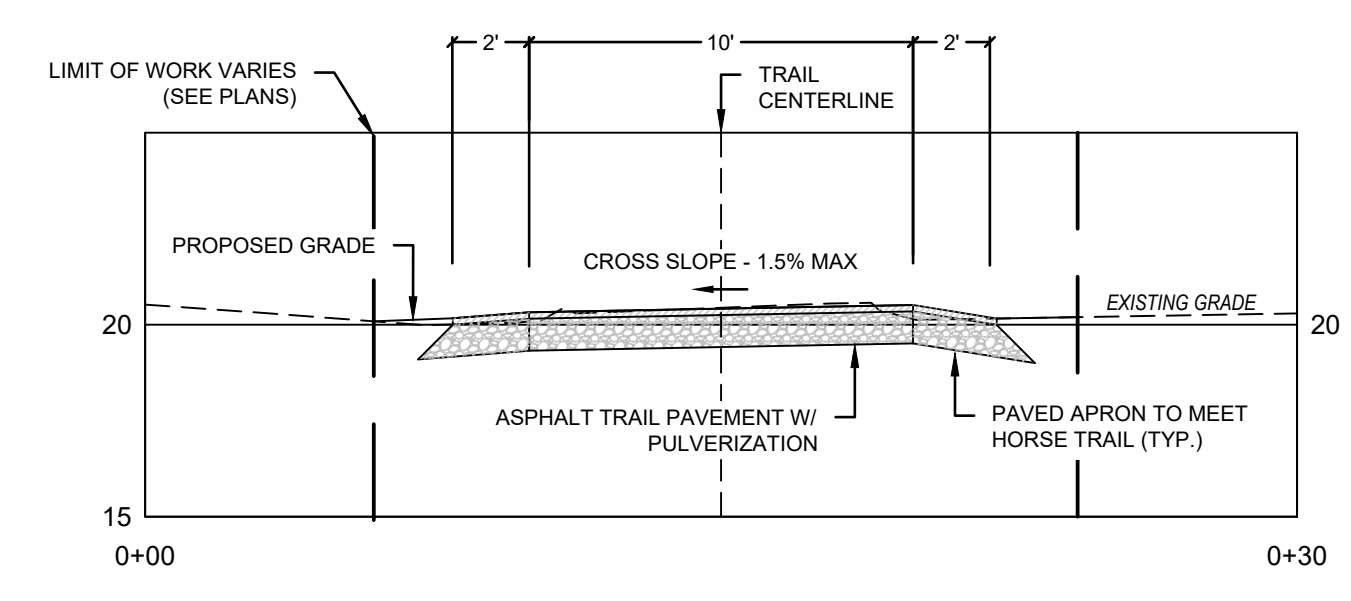
ISSUED FOR CONSERVATION COMMISSION REVIEW

PROJECT	CAPE COD NATIONAL SEASHORE
	PROVINCETOWN, MA
	BEECH FOREST TRAIL SPUR
SHEET TITLE	PROPOSED TRAIL PLAN & PROFILE III
SCALE	AS NOTED
DRAWING FILE	C19966-CIV-BF.dwg
DATE	02/06/2023
DRAWN BY	JJB
CHECKED BY	JAB

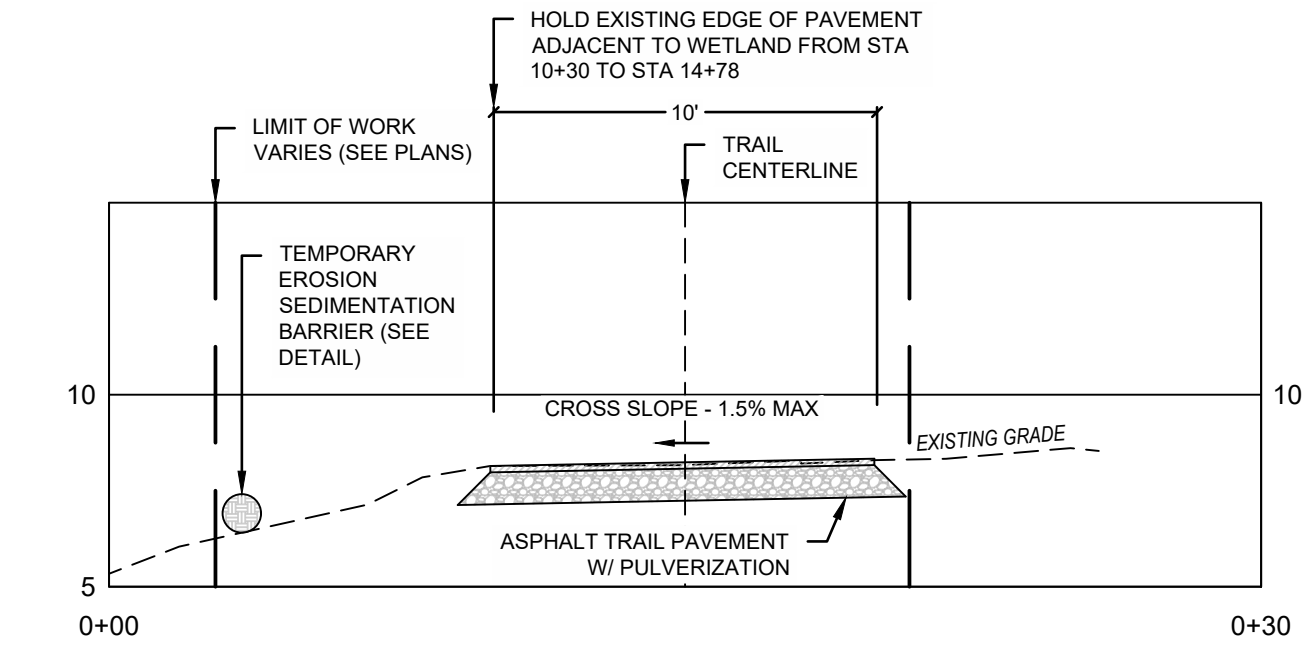
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TYPICAL CROSS SECTION
NOT TO SCALE

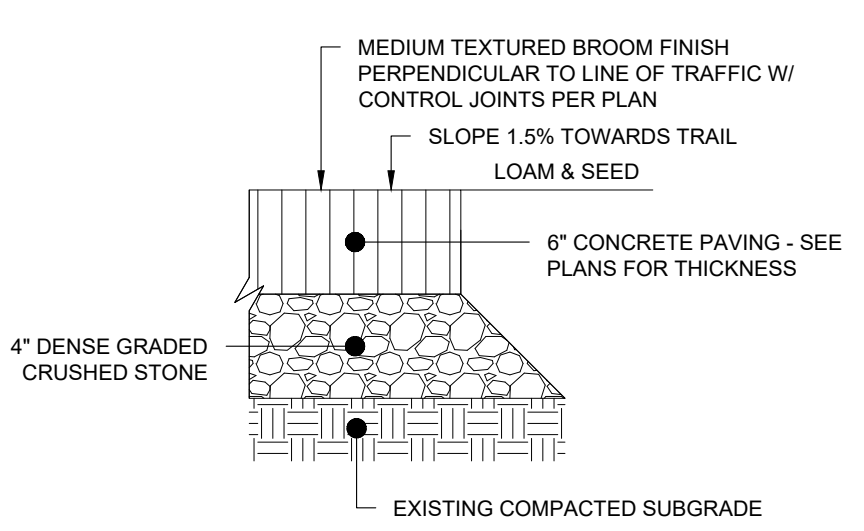
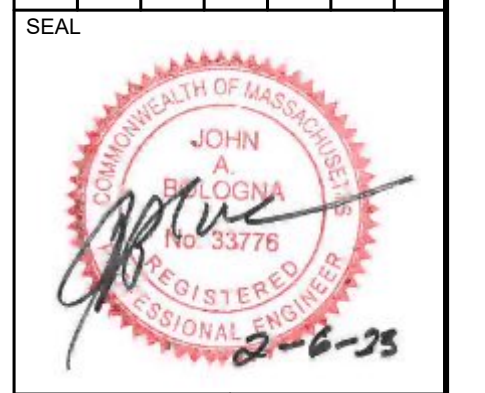


**CROSS SECTION:
STA 6+80 HORSE TRAIL CROSSING**
NOT TO SCALE

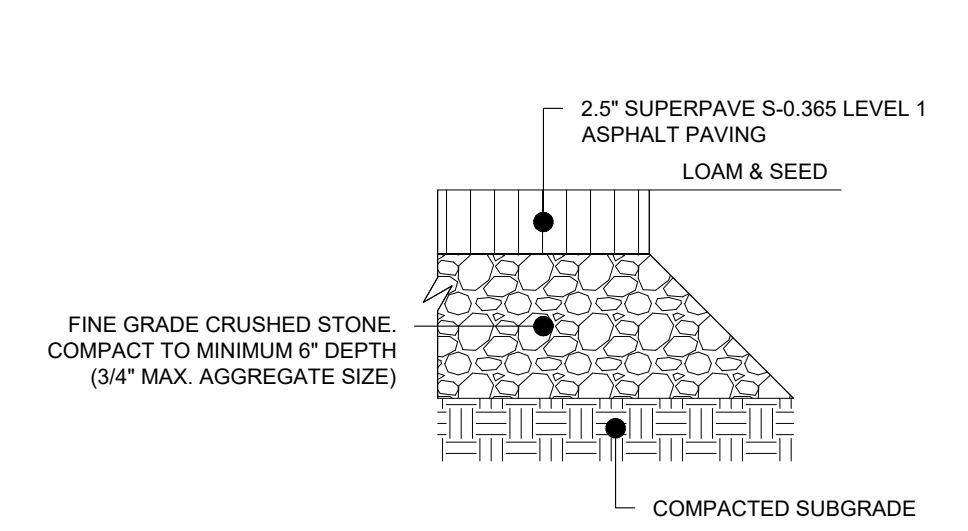


**TYPICAL CROSS SECTION:
WETLAND AREA**
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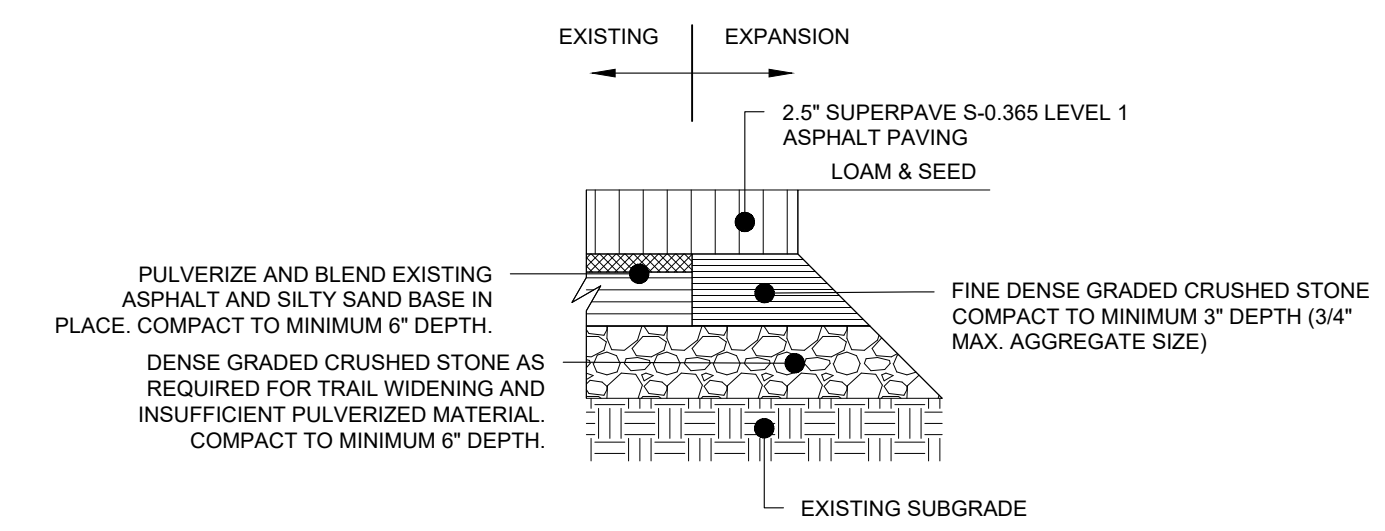
NO.	DATE	REVISION	BY



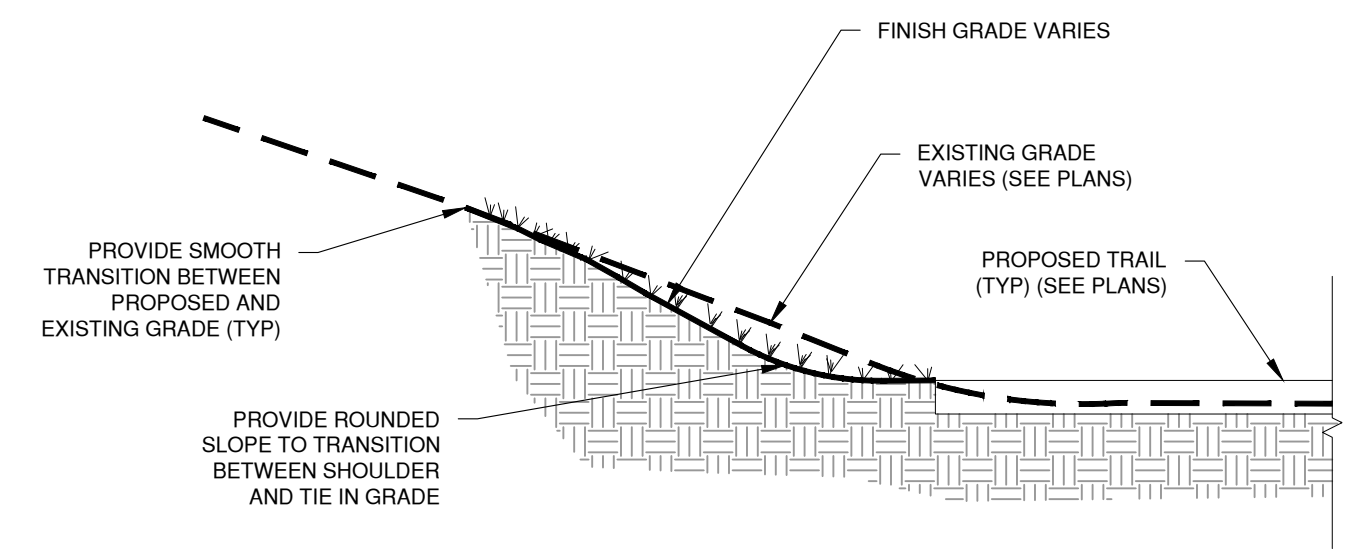
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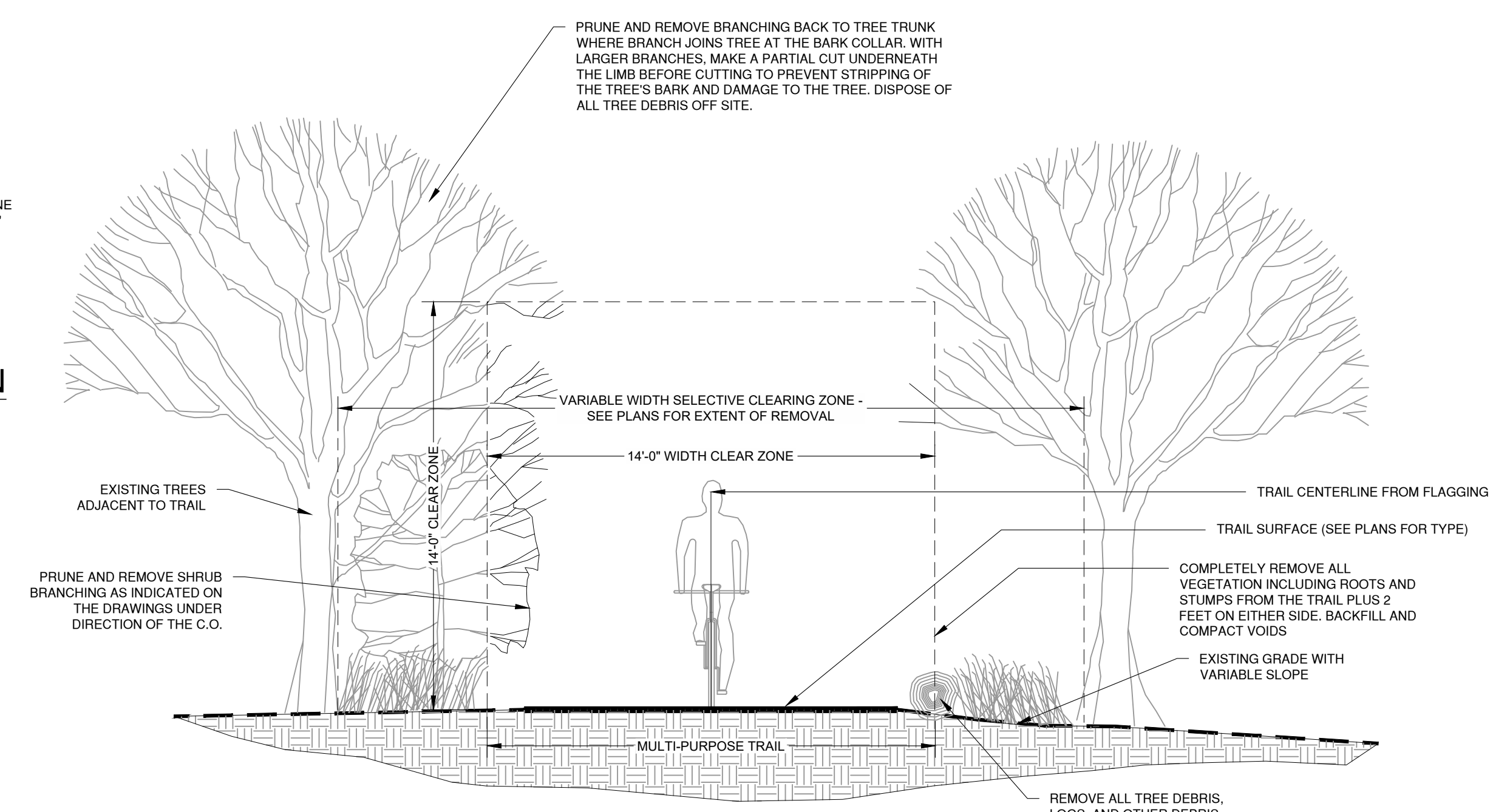
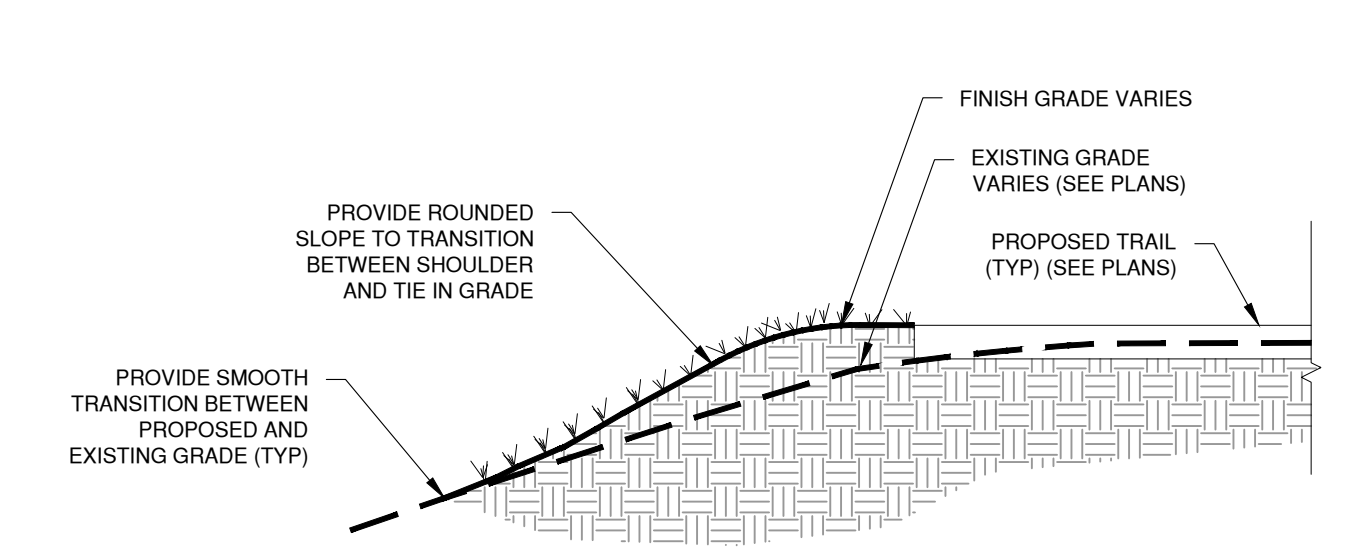
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NOT SCALE



ASPHALT TRAIL PAVEMENT W/ PULVERIZATION
NOT SCALE



SLOPE ROUNDING DETAIL
NOT TO SCALE



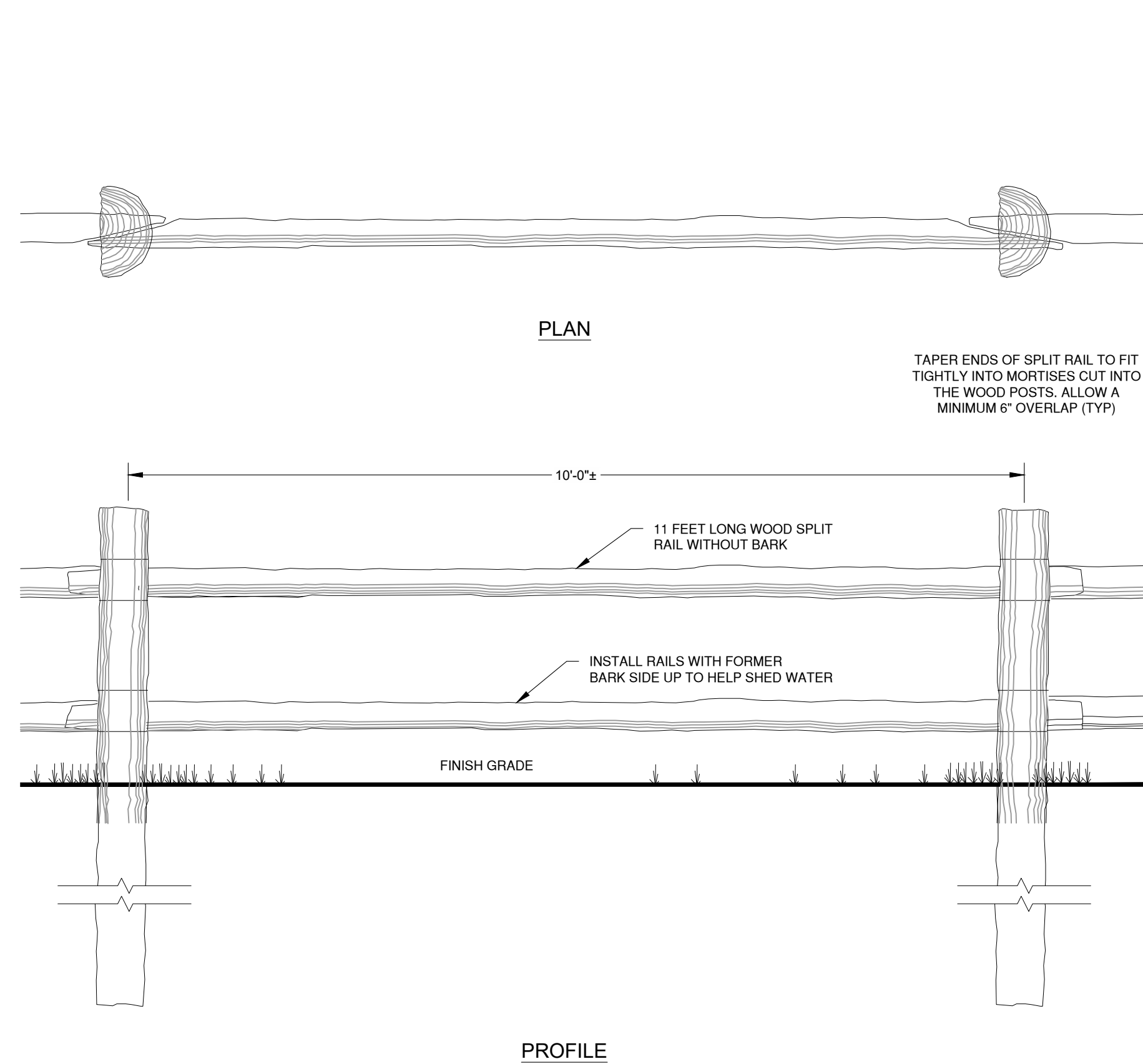
MULTI-PURPOSE TRAIL CLEAR ZONE REQUIREMENTS
NOT TO SCALE

**ISSUED FOR CONSERVATION
COMMISSION REVIEW**

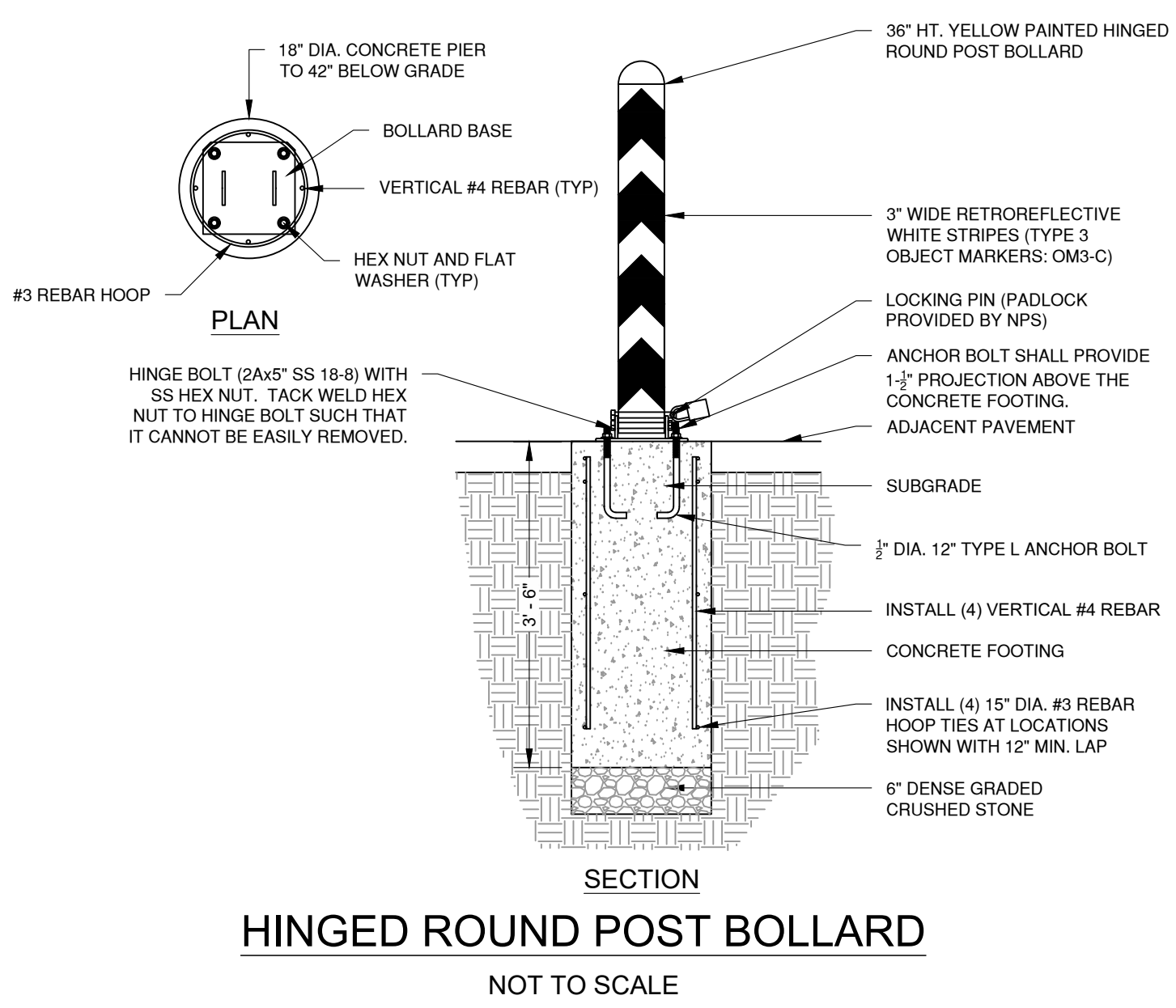
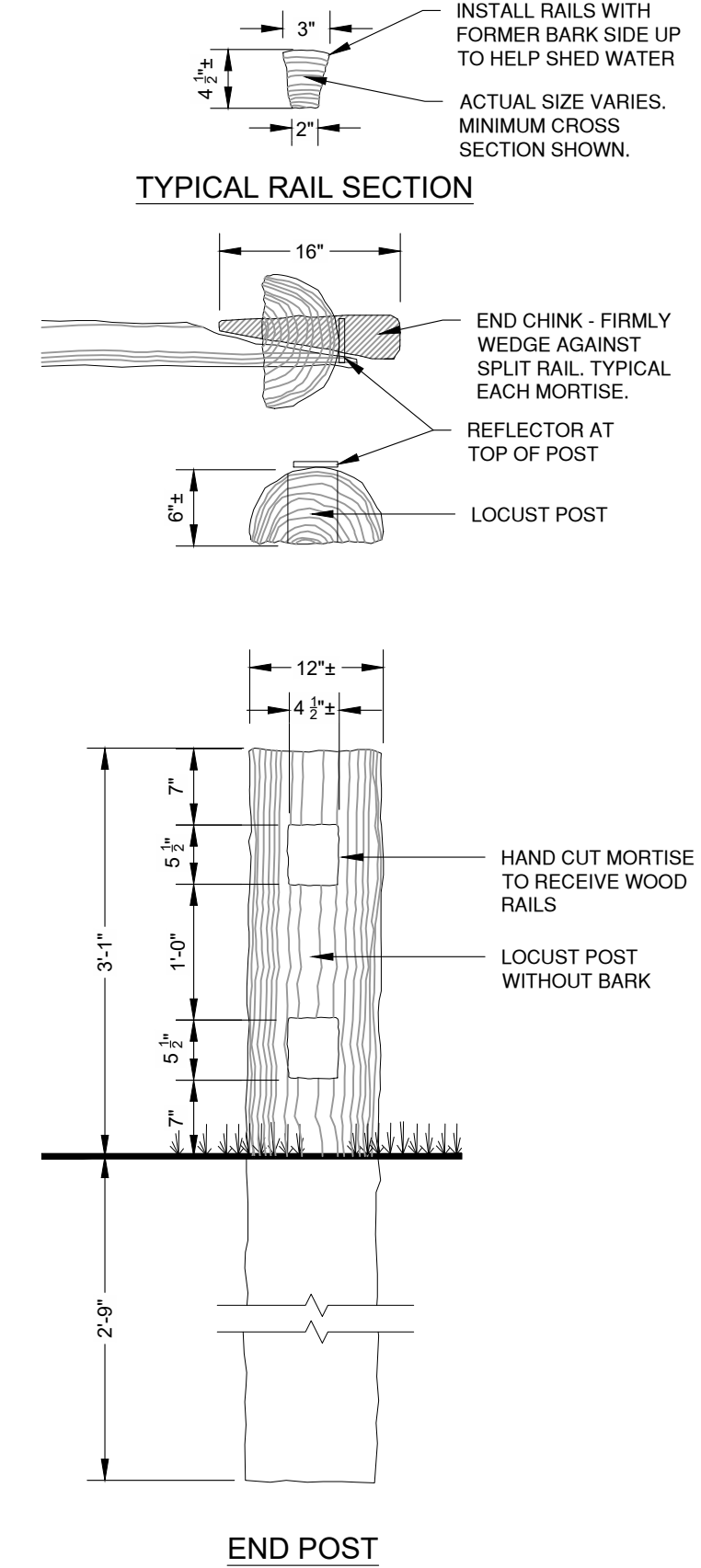
PROJECT: **CAPE COD NATIONAL SEASHORE**
PROVINCETOWN, MA
SHEET TITLE: **TYPICAL CROSS SECTIONS & SITE DETAILS**
BEECH FOREST TRAIL SPUR

SCALE	AS NOTED
DRAWING FILE	C19966-CIV-BF.dwg
DATE	02/06/2023
DRAWN BY	JJB
CHECKED BY	JAB

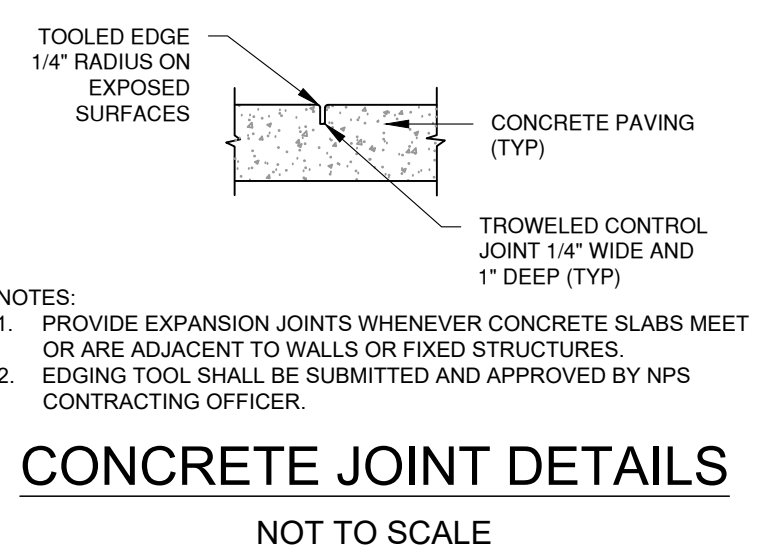
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PROJECT NO. C19966.00



SPLIT RAIL FENCE - TWO RAIL
NOT TO SCALE



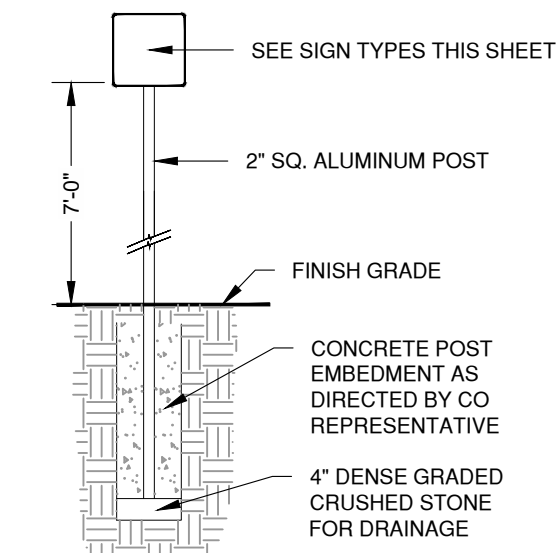
HINGED ROUND POST BOLLARD
NOT TO SCALE



- NOTES:
1. PROVIDE EXPANSION JOINTS WHENEVER CONCRETE SLABS MEET OR ARE ADJACENT TO WALLS OR FIXED STRUCTURES.
2. EDGING TOOL SHALL BE SUBMITTED AND APPROVED BY NPS CONTRACTING OFFICER.

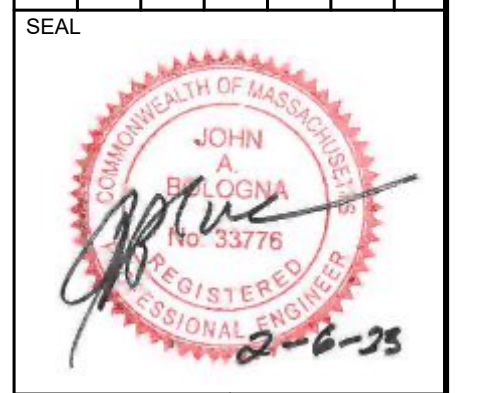
CONCRETE JOINT DETAILS
NOT TO SCALE

QUANTITY	M.U.T.C.D. NUMBER	SPECIFICATION		DETAIL
		WIDTH	HEIGHT	
2	R1-1	18"	18"	
2	W3-1A	18"	18"	
2	W7-5	18"	18"	
2	N/A	12"	18"	



- SIGNAGE NOTES**
- ALL HARDWARE SHALL BE HOT DIPPED GALVANIZED.
 - SUBMIT FINAL ARTWORK FOR EACH SIGN FOR APPROVAL BY CO REPRESENTATIVE PRIOR TO INSTALLATION.
 - ALL SIGNAGE SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION.
 - ALL SIGNAGE LOCATIONS SHALL BE APPROVED BY CO REPRESENTATIVE PRIOR TO INSTALLATION.

NO.	DATE	REVISION	BY



PROJECT	CAPE COD NATIONAL SEASHORE
PROVINCE/TOWN, MA	PROVINCETOWN, MA
BEECH FOREST TRAIL SPUR	
SHEET TITLE	SITE DETAILS II
SCALE	AS NOTED
DRAWING FILE	C19966-CIV-BF.dwg
DATE	02/06/2023
DRAWN BY	JJB
CHECKED BY	JAB

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EROSION & SEDIMENTATION CONTROL NOTES

- CONFORM TO THE TOWN OF PROVINCETOWN ORDER OF CONDITIONS.
- DEMOLITION AND SITE WORK CONTRACTORS TO ASCERTAIN THE LOCATION OF UNDERGROUND UTILITIES AND CONTACT DIG SAFE PRIOR TO EXCAVATION/ DEMOLITION.
- THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL, PROTECTION OF DRAINAGE STRUCTURES, AND MANAGEMENT OF STORMWATER RUNOFF UNTIL COMPLETION OF SITE-WORK AND ESTABLISHMENT OF VEGETATIVE GROUND COVER.
- THE CONTRACTOR SHALL PRACTICE GOOD HOUSEKEEPING MEASURES DURING THE DAY TO DAY OPERATION AT THE SITE. THE SITE SHALL BE POLICED DAILY TO REMOVE ANY LITTER OR DEBRIS.
- INSTALL CATCH BASIN INLET PROTECTION IN ALL CATCH BASINS AND YARD DRAINS WITHIN THE WORK LIMIT.
- SEDIMENT BARRIERS SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLAN.
- IF SEDIMENT ESCAPES THE CONSTRUCTION WORK LIMIT, THE OFF-SITE SEDIMENT SHALL BE REMOVED.
- LITTER, CONSTRUCTION DEBRIS, AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.
- EXCEPT AS PROVIDED BELOW, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY CEASED, BUT IN NO CASE MORE THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED.

1. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE.

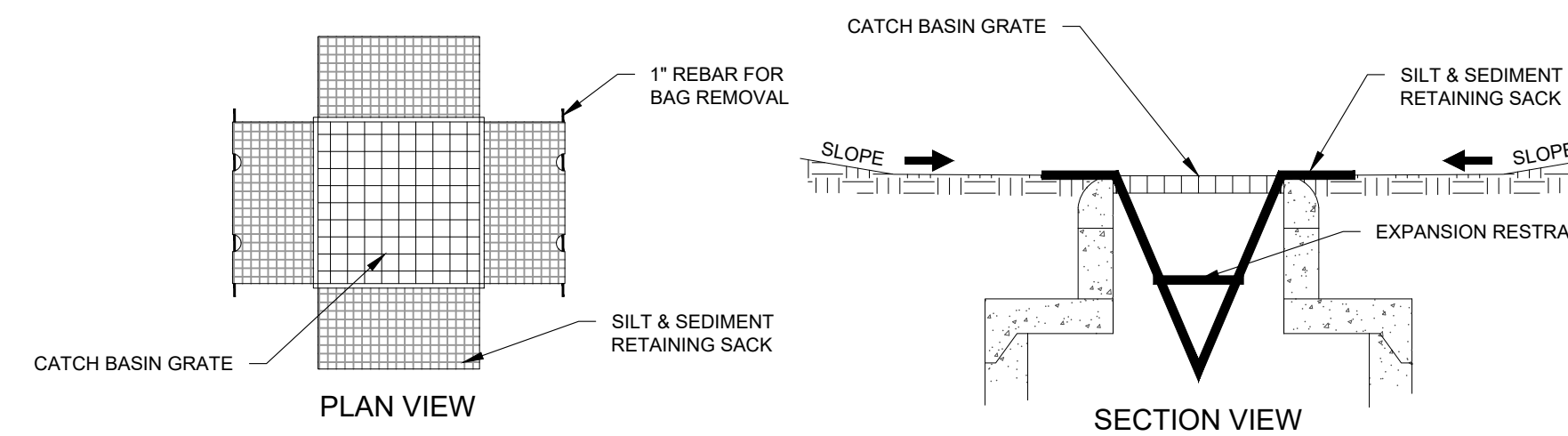
2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

STABILIZATION SPECIFICATIONS

- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT TRAIL, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. SEEDED AREAS WITHIN 50 OF SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- SEED MIX SHALL BE A NATIVE CAPE COD CONSERVATION MIX AND SHALL BE APPROVED BY THE PARKS PLANT ECOLOGIST PRIOR TO USE.
- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED.
- STRAW MULCH SHOULD BE ANCHORED IMMEDIATELY AFTER APPLICATION TO PREVENT BEING WINDBLOWN. A TRACTOR-DRAWN IMPLEMENT MAY BE USED TO "CRIMP" THE STRAW. THIS METHOD IS LIMITED TO SLOPES NO STEEPER THAN 3:1. THE MACHINERY SHOULD BE OPERATED ON THE CONTOUR. (NOTE: CRIMPING OF STRAW BY RUNNING OVER IT WITH TRACKING MACHINERY IS NOT RECOMMENDED.)
- JUTE NETTING SHALL BE BIODEGRADABLE WITH BIODEGRADABLE STAPLES AND SHALL BE USED IN DISTURBED AREAS EXCEEDING A 3:1 SLOPE.

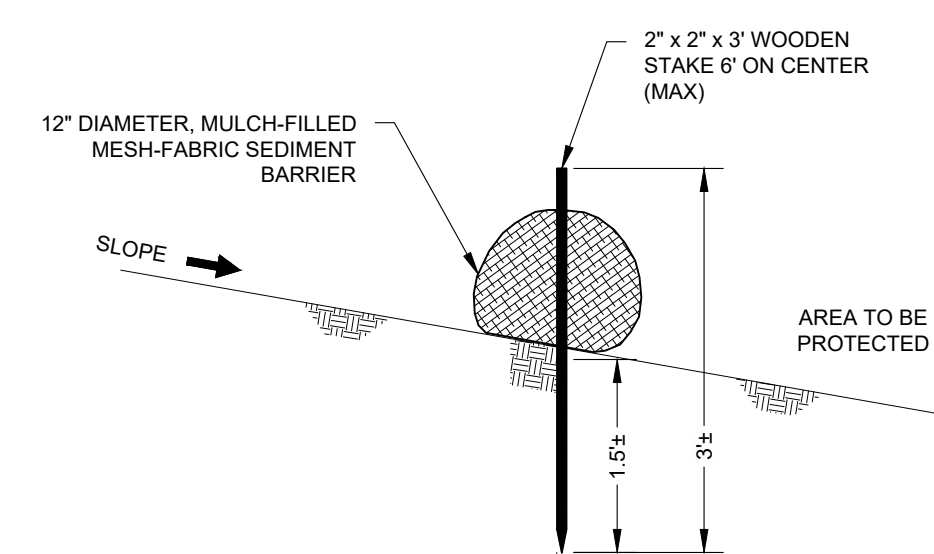
MAINTENANCE PROGRAM

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENEWING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- THE CONTRACTOR MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPs ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:
 - A SUMMARY OF THE SITE CONDITIONS, E&S BMPs, AND COMPLIANCE; AND
 - THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE REINCORPORATED INTO MATERIAL USED FOR GRADING.



- NOTES:
- GRATE IS TO BE SET OVER SILT & SEDIMENT RETAINING SACK.
 - INSPECT ALL SILT & SEDIMENT RETAINING SACKS AFTER EACH PRECIPITATION EVENT AND EMPTY SACKS WHEN MORE THAN HALF FULL.

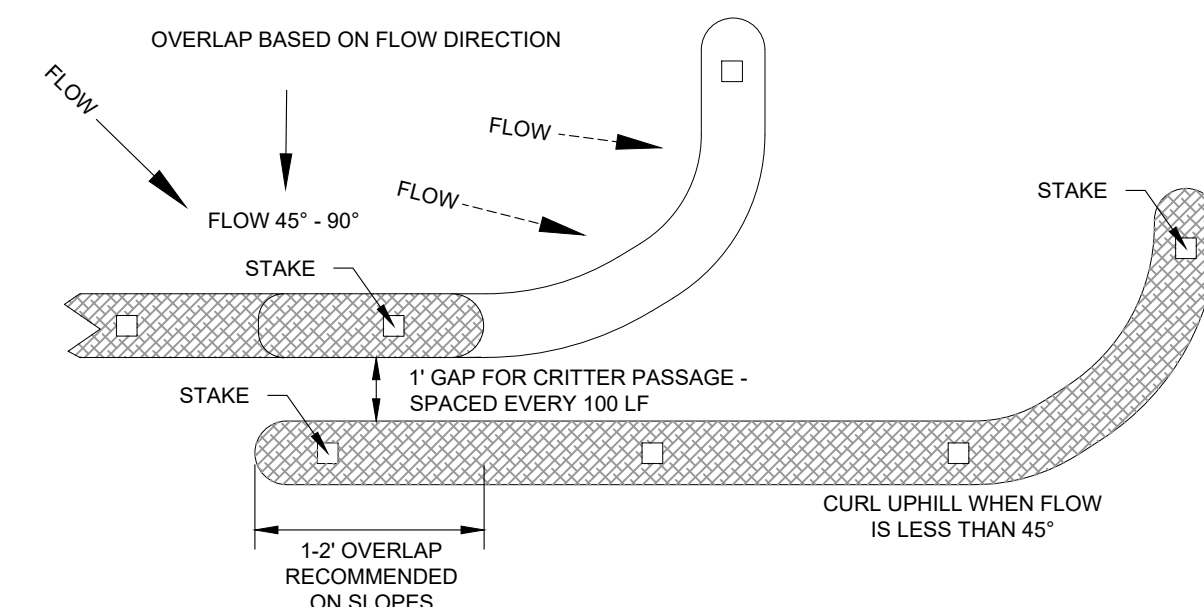
CATCH BASIN INLET PROTECTION DETAIL
NOT TO SCALE



SEDIMENTATION BARRIER DETAIL
NOT TO SCALE

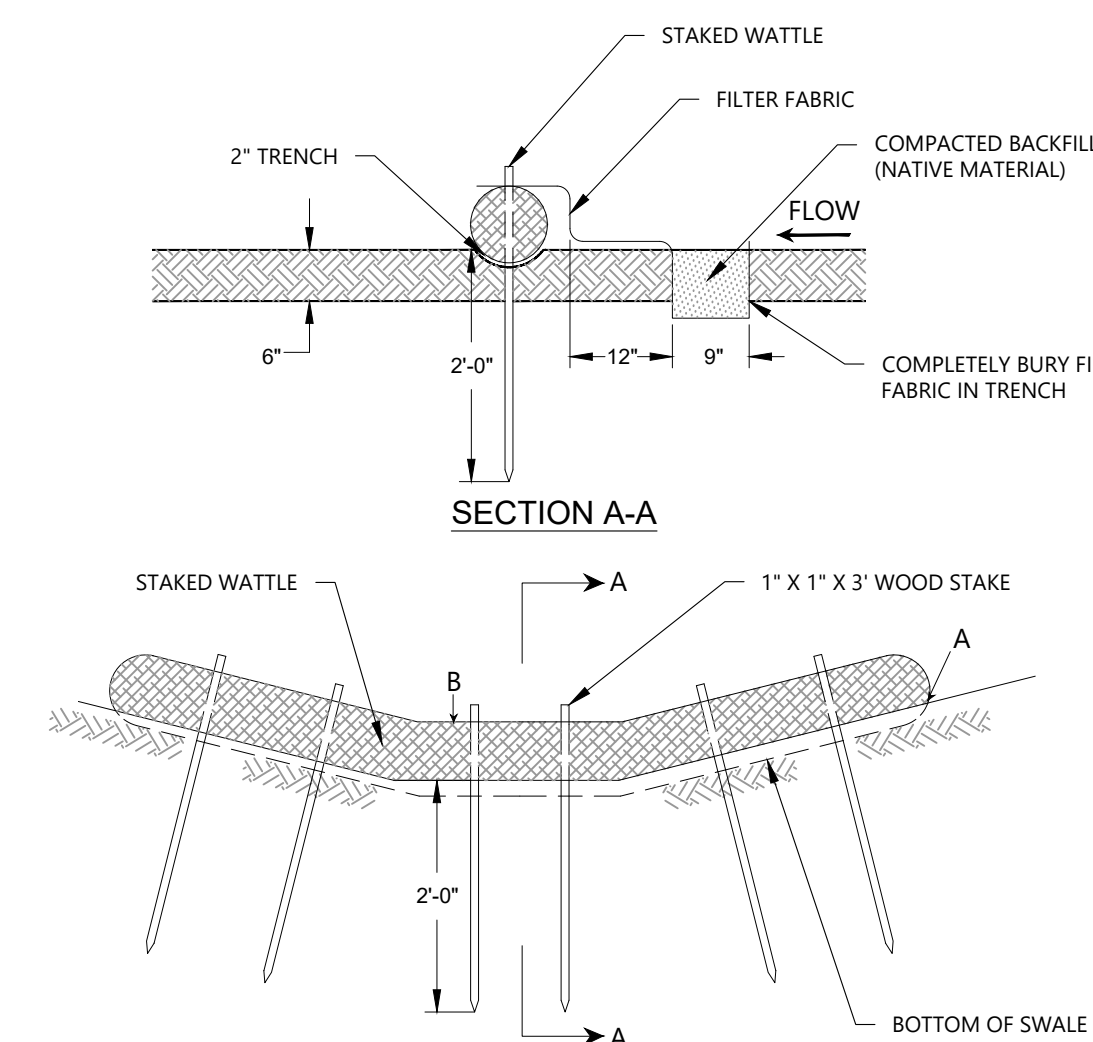
- NOTES:
- SLEEVE ENDS OF MESH-FABRIC SECTIONS TOGETHER TO FORM A CONTINUOUS SEDIMENT BARRIER.
 - SILTATION BARRIER SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL RE-VEGETATION OF AREA DISTURBED BY CONSTRUCTION.
 - AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED PRIOR TO COMPLETION OF PROJECT.
 - SEDIMENT SHALL BE REMOVED FROM BARRIER WHEN DEPTH EXCEEDS 1/2 THE HEIGHT OF THE BARRIER.

PERIMETER CONTROL & OVERLAPPING



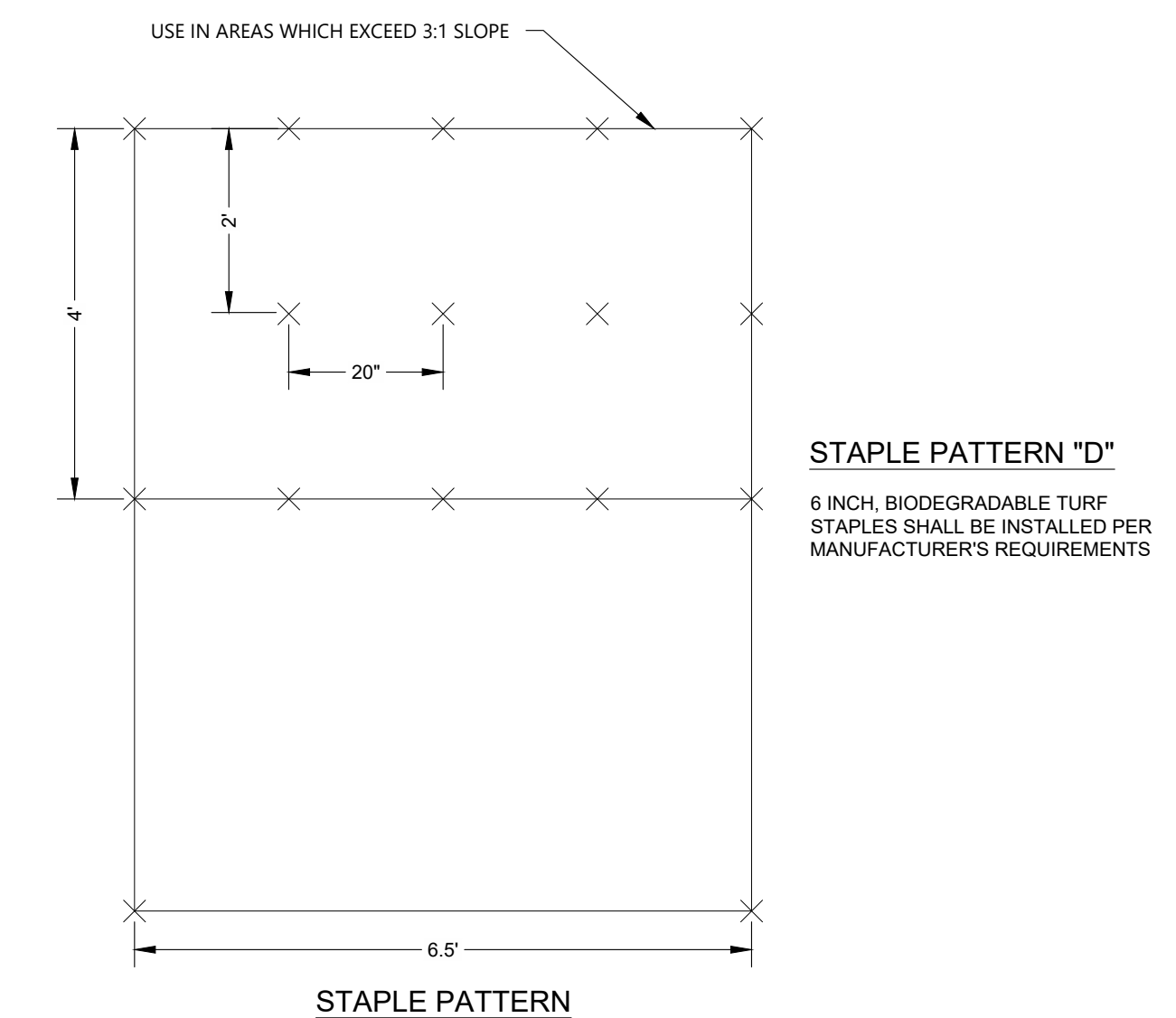
- NOTES:
- INSTALL PER MANUFACTURERS RECOMMENDATIONS.
 - REFER TO REGULATORY AUTHORITY OR PROJECT ENGINEER FOR DETAILED INSTALLATION PROCEDURES.
 - WOOD FILLER MATERIAL SHALL BE PROPERLY SIZED, BIODEGRADABLE, WEED, SEED & DISEASE FREE AND ENVIRONMENTALLY SOUND.
 - DO NOT OVERLAP THE ENDS OF THE WATTLES OVER TOP OF EACH OTHER.
 - WATTLE CASING MATERIAL SHALL BE 0.5"x0.5" OPENING, HD SYNTHETIC, UV PROTECTED MATERIAL, CYLINDRICAL WITH CLOSED ENDS.
 - STAKES SHALL PROTRUDE SEVERAL INCHES ABOVE THE WATTLE. CONTRACTOR SHALL USE 18" STAKE FOR HARD, ROCKY SOIL, AND 24" STAKE FOR SOFT, LOAMY SOIL. THE DIAMETER OF THE STAKE SHOULD BE APPROXIMATELY 1" FOR EASE OF DRIVING THROUGH THE WATTLE.
 - FOR FLAT GROUND APPLICATIONS IT MAY NOT BE NECESSARY TO STAKE THE WATTLES.

STRAW WATTLE INSTALLATION GUIDELINES
NOT TO SCALE



- NOTES:
- THIS CHECKDAM SHALL BE INSTALLED IN A DRAINAGE SWALE AS INDICATED ON THE DRAWINGS. LOCATIONS MAY BE ADJUSTED IN THE FIELD AS REQUIRED BY THE NPS CONTRACTING OFFICER.
 - WATTLES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

STRAW WATTLE CHECKDAM
NOT TO SCALE



- NOTES:
- PREPARE SOIL BEFORE INSTALLING BLANKETS.
 - BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6 INCH DEEP BY 6 INCH WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
 - PLACE BLANKETS END OVER END (SHINGLE STYLE) WITH A 6 INCH OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4 INCHES APART TO SECURE BLANKETS.
 - FULL LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN A 6 INCH DEEP BY 6 INCH WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - BLANKETS ON SIDE SLOPES MUST BE OVERLAPPED 4 INCHES OVER THE CENTER BLANKET AND STAPLED.
 - IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4 INCHES APART OVER ENTIRE WIDTH OF CHANNEL. PLACE A SECOND ROW 4 INCHES BELOW THE FIRST ROW IN A STAGGERED PATTERN.
 - THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED IN A 6 INCH DEEP BY 6 INCH WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

BIODEGRADABLE JUTE NETTING INSTALLATION
NOT TO SCALE

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COMMISSION REVIEW

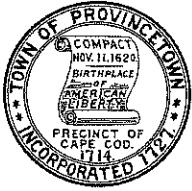
NO.	DATE	REVISION	BY



PROJECT: CAPE COD NATIONAL SEASHORE
PROVINCETOWN, MA
BEECH FOREST TRAIL SPUR
SHEET TITLE: SITE DETAILS III

SCALE:	AS NOTED
DRAWING FILE:	C19966-CIV-BF.dwg
DATE:	02/06/2023
DRAWN BY:	JJB
CHECKED BY:	JAB

C2.4.3
9 OF 9 SHEETS
PROJECT NO. C19966.00



PROVINCETOWN CONSERVATION COMMISSION
OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF PROVINCETOWN
260 COMMERCIAL STREET
PROVINCETOWN, MASSACHUSETTS 02657
(508)487-7020



Notice to Abutters

The Provincetown Conservation Commission will hold a Public Hearing at **6:00 p.m.** on Tuesday,

DATE (mm/dd/yyyy): 2/21/2023

to take place in the Judge Welsh Hearing Room, Town Hall, 260 Commercial Street, Provincetown, MA.

In accordance with the Wetlands Protection Act (M.G.L. Chapter 131, Section 40) and/or the Provincetown General Bylaw, Chapter 12, Wetlands Protection Bylaw, the following application has been filed with the Provincetown Conservation Commission:

- Notice of Intent (NOI)**
- Request for Determination of Applicability (RDA)**
- Abbreviated Notice of Resource Area Delineation (ANRAD)**
- Local Bylaw Filing**
- Amended Order of Conditions** seeking an amendment to an already issued and active Order of Conditions under DEP File # _____

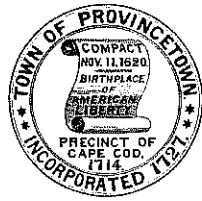
PROJECT ADDRESS: Beech Forest Trail

APPLICANT &/OR OWNER: Henry General Contractors, Inc. & National Park Service

DESCRIPTION OF WORK BEING PROPOSED:

Rehabilitation of Beech Forest Trail

You have received this notice because you have been identified as an abutter of the property noted above. A link to this project application and all related documents and plans will be contained in the agenda for the public meeting which will be posted on the Town website (www.provincetown-ma.gov under Agendas and Minutes) no later than the Thursday before the Public Hearing. Documents and plans can also be viewed at the Community Development office located in the lower level of Town Hall, Monday through Thursday, between 9:00 am and 4:00 pm. If you are unable to attend the Public Hearing, opinion letters may be sent no later than 24 hours in advance of the hearing to: Timothy Famulare at Town Hall, 260 Commercial Street Provincetown, MA 02657 or by email at tfamulare@provincetown-ma.gov.



Town of Provincetown, Ma

\$26.74 Paid

via Credit Card ending in 0164

Thanks for using the Online Service Center

Jason Lee

Abutter's List - Special Application #ASSR-23-6

February 6, 2023

Abutters List Fee	\$25.00
Processing Fee	\$1.74
Total Paid	\$26.74



Powered by the ViewPoint Cloud platform

Receipt number #14382



**Town of Provincetown
DMF/Assessors
Certified Abutters List**

Application Submitted:
February 6, 2023

Jason Lee
90 RACE POINT RD
Provincetown MA
4133018910 jason@henrygeneralcontractors.com
90 RACE POINT RD
9-2-24-0

Applicant

**Property
Location**

REQUEST - Immediate Abutters

Certification

I certify to the Board of Submission (see above) that the following list contains all parties in interest and their addresses, as set forth in Massachusetts General Laws, c 40A, § 11, consisting of persons who are owners of land immediately abutting the above-identified property, owners of land directly opposite said property on any street or way, abutters to abutters within (see above criteria) feet of the said property, and/or parties in interest, all as they appear on the most recent applicable tax list.

This certification shall be valid for a period of thirty (30) days from date of process.

Scott Fahle
Principal Assessor

29

(We have ten days to process request)

3-5-1-0-E
7-3-21-D-E

COMMONWEALTH OF MASSACHUSETTS

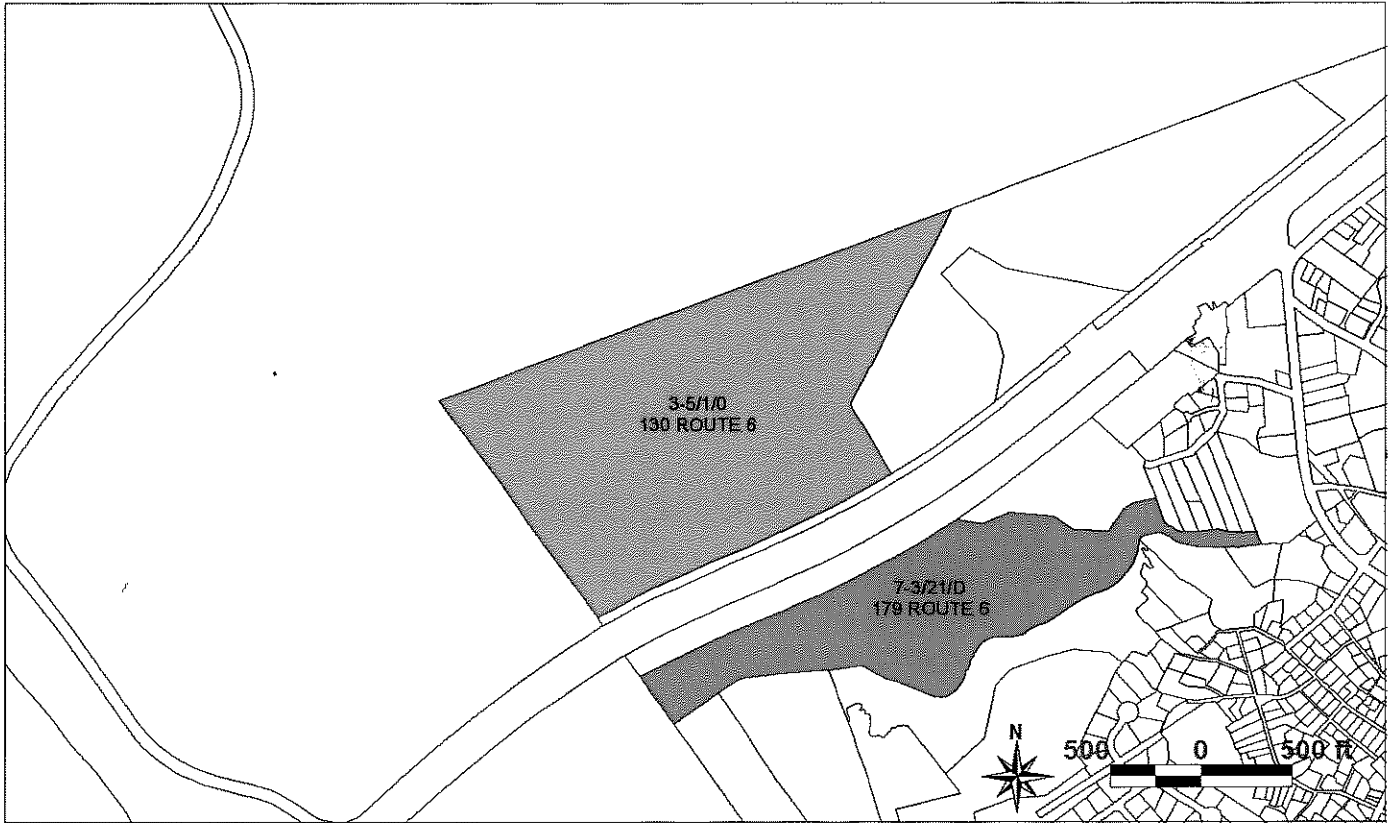
DIVISION FISHERIES & WILDLIFE
PROVINCETOWN CONSERVATION TR

100 CAMBRIDGE ST
PO BOX 443

BOSTON, MA 02202
BARNSTABLE, MA 02630

TOWN OF PROVINCETOWN, MA
 BOARD OF ASSESSORS
 260 Commercial Street

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
98	3-5-1-0-E	COMMONWEALTH OF MASSACHUSETTS DIVISION FISHERIES & WILDLIFE	130 ROUTE 6	100 CAMBRIDGE ST	BOSTON	MA	02202
1449	7-3-21-D-E	PROVINCETOWN CONSERVATION TR	179 ROUTE 6	PO BOX 443	BARNSTABLE	MA	02830

3-5-1-0-E

7-3-21-D-E

COMMONWEALTH OF MASSACHUSETTS
DIVISION FISHERIES & WILDLIFE
100 CAMBRIDGE ST
BOSTON, MA 02202

PROVINCETOWN CONSERVATION TR
PO BOX 443
BARNSTABLE, MA 02630

Key: 98

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 112

CD	CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD
L	9110	100	DIV OF FISH/WILDFW			1 of 1
G			DESC	AMOUNT	INSP	BY 1st %
A						
L						

CD	TY	ACRSE/PUN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
L	A	6.610	NN	1.00	1.00	1,155,670	1.00	1.00	R01			7,640,300
A	A	19,730	NN	1.00	1.00	40,770	0.02	1.00	R01			18,340
A	A	42,010	NN	1.00	1.00	20,385	0.02	1.00	R01			19,530
TOTAL		68,350	Acres			1,290						

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	ASSESSED	CURRENT	PREVIOUS
									LAND	7,678,200	7,176,000
									BUILDING	0	0
									DETACHED	0	0
									OTHER	0	0
									TOTAL	7,678,200	7,176,000

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com
OFFICIAL USE

Certified Mail Fee \$4.15
 Extra Services & Fees (check box and fee as appropriate)
 Return Receipt (hardcopy) \$0.00
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$0.00

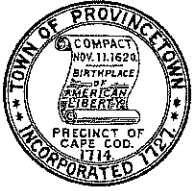
Sent to **Commonwealth Fish + Wildlife**
 Street and Apt. No. or PO Box No. **100 Cambridge St**
 City, State, ZIP+4® **Boston MA 02202**

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD

EFF YRAGE
 COND FINEC ECON DEPR RCNLD
 % GD

7021 2720 0002 4428 0690

PS Form 3800, April 2013 PSN 7530-02-000-9047 See Reverse for Instructions



PROVINCETOWN CONSERVATION COMMISSION
OFFICE OF COMMUNITY DEVELOPMENT
TOWN OF PROVINCETOWN
260 COMMERCIAL STREET
PROVINCETOWN, MASSACHUSETTS 02657
(508)487-7020



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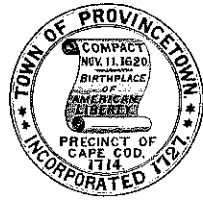
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Town of Provincetown, Ma

\$26.74 Paid

via null ending in 0164

Thanks for using the Online Service Center

Jason Lee

Abutter's List - Special Application #ASSR-23-7

February 6, 2023

Abutters List Fee	\$25.00
Processing Fee	\$1.74
Total Paid	\$26.74



Powered by the ViewPoint Cloud platform

Receipt number #14384



Town of Provincetown

DMF/Assessors

Certified Abutters List

Application Submitted:
February 6, 2023

Jason Lee
244 ROUTE 6
Provincetown MA
4133018910 jason@henrygeneralcontractors.com
244 ROUTE 6
8-1-5-0

Applicant

**Property
Location**

REQUEST - Immediate Abutters

Certification

I certify to the Board of Submission (see above) that the following list contains all parties in interest and their addresses, as set forth in Massachusetts General Laws, c 40A, § 11, consisting of persons who are owners of land immediately abutting the above-identified property, owners of land directly opposite said property on any street or way, abutters to abutters within (see above criteria) feet of the said property, and/or parties in interest, all as they appear on the most recent applicable tax list.

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Principal Assessor

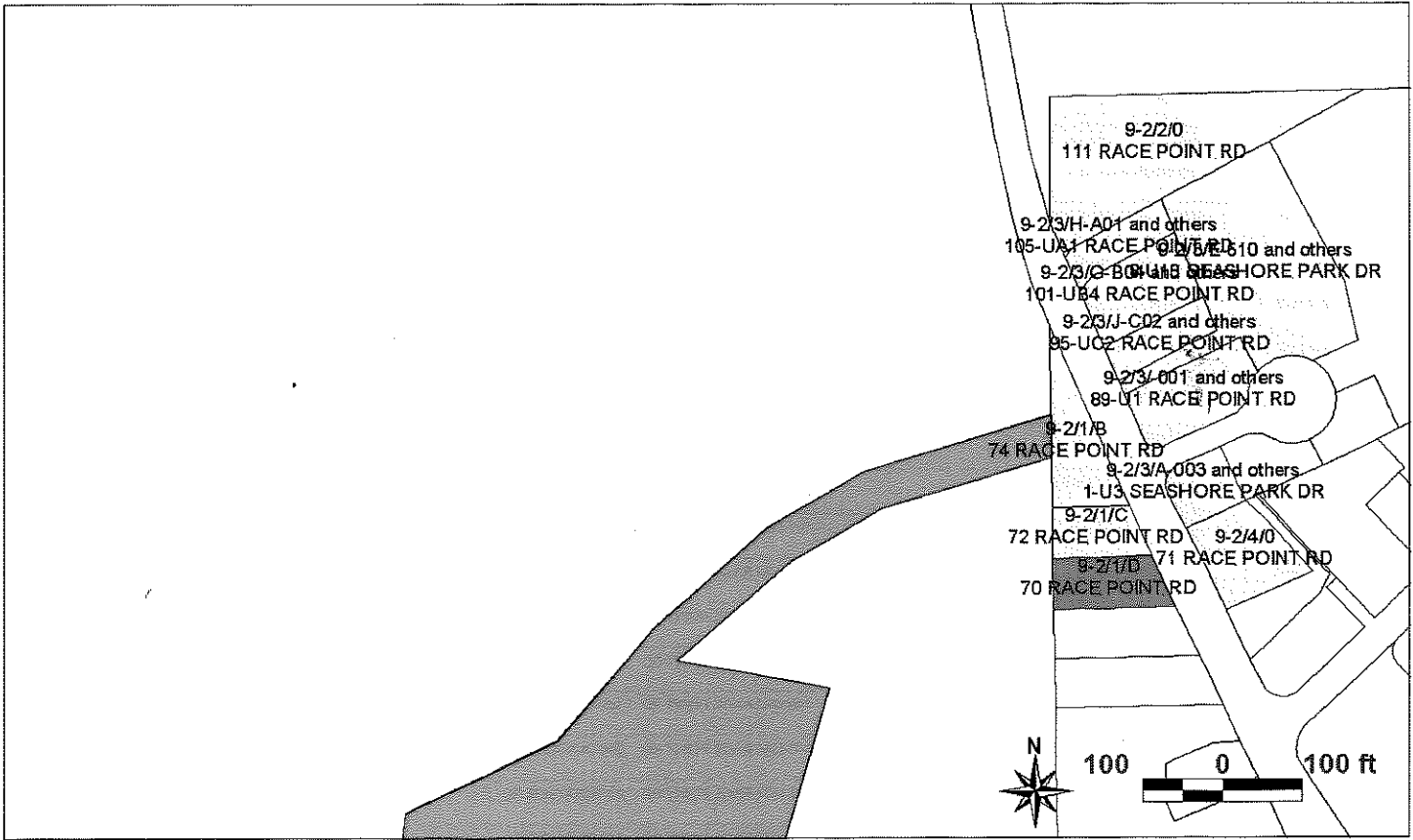
24

(We have ten days to process request)

9-2-1-B-R	OUTER EDGE NOMINEE TR	MIRIAM A COLLINSON TTEE	PO BOX 447	TRURO, MA 02666-0447
9-2-1-C-R	MICHAEL D DESARRO TR	MICHAEL D DESARRO TTEE	PO BOX 1961	PROVINCETOWN, MA 02657
9-2-1-D-R	BRIAN M PAYEA 2019 TR	THOMAS W SKINNER 2019 TR	70 RACE POINT RD	PROVINCETOWN, MA 02657-1528
9-2-2-0-R		DOUGLAS SCOTT	PO BOX 1662	PROVINCETOWN, MA 02657
9-2-3-001-R		CASEY MICHAEL	45 WEST 11TH ST #6A	NEW YORK, NY 10011
9-2-3-002-R		ELAM DEBORAH	89-U2 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-3-003-R	MCBRIDE KEVIN P ET UX	JUDITH A LYONS	50 EAST ELM AVE	PROVINCETOWN, MA 02657
9-2-3-004-R	RAE OLIVER H	703 CAMINO DE LA FAMILIA	UNIT 3208	QUINCY, MA 02170
9-2-3-005-R	STRUMWASSER JOHN E ET VIR	STEPHEN M CONNER	89-U5 RACE POINT RD	SANTA FE, NM 87501-1273
9-2-3-006-R		TUFANO PHYLLIS	89-U6 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-3-A-001-R		GILLIES MARJORIE E	1175 OAK PL	NIAGARA FALLS, NY 14304
9-2-3-A-002-R		NEWMAN SILVIA M	1 SEASHORE PARK DR #2	PROVINCETOWN, MA 02657
9-2-3-A-003-R	MARGESSON JANE ET AL	ERICA MAGNUS	17 EVERGREEN LN	WINDHAM, ME 04062-4713
9-2-3-A-004-R	ROBERT H MURRAY JR LIV TR	ROBERT H MURRAY JR TTEE	1-U4 SEASHORE PARK DR	PROVINCETOWN, MA 02657
9-2-3-E-101-R	MOYIK JOSEPH J ET UX	BARBARA ANN MOYIK	114 FAIRFAX AVE	HAWTHORNE, NY 10532
9-2-3-E-102-R		REYNOLDS RICHARD J ET AL	702 59TH ST S	GULFPORT, FL 33707-2413
9-2-3-E-203-R		PUCCI THOMAS	PO BOX 34	PROVINCETOWN, MA 02657
9-2-3-E-204-R		GUMBLETON PAUL J	8-U4 SEASHORE PARK DR	PROVINCETOWN, MA 02657
9-2-3-E-305-R		SHEA BRIAN O	PO BOX 1893	PROVINCETOWN, MA 02657
9-2-3-E-306-R		CONLIN JEROME P	8-U6 SEASHORE PARK DR	PROVINCETOWN, MA 02657
9-2-3-E-407-R		REARDON GARY J	8-U7 SEASHORE PARK DR	PROVINCETOWN, MA 02657
9-2-3-E-408-R	FRANKS REBECCA J ET AL	ANNE F STOWE	38 DOGWOOD LN	NEWMARKET, NH 03857-1842
9-2-3-E-509-R	ANDREWS MICHAEL J ET UX	MARIA D ANDREWS	8 SEASHORE PARK DR #9	PROVINCETOWN, MA 02657
9-2-3-E-510-R	MINASSIAN HARRY JR ET UX	MARCIA MINASSIAN	8-U10 SEASHORE PARK DR	PROVINCETOWN, MA 02657
9-2-3-E-611-R		JOHNSON SARAH A	8-U11 SEASHORE PARK DR	PROVINCETOWN, MA 02657
9-2-3-E-612-R	MARGARET MARY VALENTI LIV TR	MARTHA D GLADUE LIV TR	85 EAST INDIA ROW UNIT 39D	BOSTON, MA 02110
9-2-3-E-713-R	SULLIVAN ROBERT P ET UX	DEBBY A SULLIVAN	29 BELAIR RD	HINGHAM, MA 02043
9-2-3-E-714-R		CAMERON ROBERT F	8-U14 SEASHORE PARK DR	PROVINCETOWN, MA 02657
9-2-3-E-815-R		ADUBA GODWIN C	359 CIRCUIT ST	NORWELL, MA 02061
9-2-3-E-816-R		HORWITZ TERRY R	8 SEASHORE PARK DR #16	PROVINCETOWN, MA 02657
9-2-3-G-B01-R	SIRVENT NANCY M ET UX	GALIANO ANGIE SOLER	100-U228 ALDEN ST	PROVINCETOWN, MA 02657
9-2-3-G-B02-R		EDNA HOLLEY	101-UB2 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-3-G-B03-R		MANNING JAMES T	101-UB3 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-3-G-B04-R		GOLD MYRA	PO BOX 992	PROVINCETOWN, MA 02657
9-2-3-H-A01-R	MCGUIRE LEONARD DANIEL ET AL	ROLLIN LEWIS SANDBERG JR	380 STAFFORD ST	CHARLTON, MA 01507
9-2-3-H-A02-R	JOHNSON KATHRYN DIANE ET UX	NAN CINNATER	105-UA2 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-3-H-A03-R		CATANESE KATHRYN L	105-UA3 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-3-H-A04-R		HOLQUIST BARRY S	206 OVERLOOK DR	TITUSVILLE, PA 16354
9-2-3-J-C01-R	SEASHORE PARK UNIT C-2 TR	GIACHELLI H EDWARD	23 WOODSIDE RD	PROVIDENCE, RI 02909-5026
9-2-3-J-C02-R		EDMUND J RAPAZZINI TTEE	103 GERALD RD	MILTON, MA 02186
9-2-3-J-C03-R	BERRY WILLIAM F ET AL	ANDERSON CASSANDRA	95-UC3 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-3-J-C04-R	TOWN OF PROVINCETOWN	BRIAN A FITZPATRICK	95-UC4 RACE POINT RD	PROVINCETOWN, MA 02657
9-2-4-0-R	BOARD OF SELECTMEN	SEVENTY-ONE RACE PT RD LLC	501 ALHAMBRA CIRCLE	CORAL GABLES, FL 33134
9-2-24-0-E		BOARD OF SELECTMEN	260 COMMERCIAL ST	PROVINCETOWN, MA 02657
9-2-24-1-SL	TOWN OF PROVINCETOWN	C/O ASSESSOR'S OFFICE	260 COMMERCIAL ST	PROVINCETOWN, MA 02657

TOWN OF PROVINCETOWN, MA
 BOARD OF ASSESSORS
 260 Commercial Street

Custom Abutters List



Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1693	9-2-1-B-R	OUTER EDGE NOMINEE TR MIRIAM A COLLINSON TTEE	74 RACE POINT RD	PO BOX 447	TRURO	MA	02666-0447
1694	9-2-1-C-R	MICHAEL D DESARRO TR MICHAEL D DESARRO TTEE	72 RACE POINT RD	PO BOX 1951	PROVINCETOWN	MA	02657
1695	9-2-1-D-R	BRIAN M PAYEA 2019 TR THOMAS W SKINNER 2019 TR	70 RACE POINT RD	70 RACE POINT RD	PROVINCETOWN	MA	02657-1528
1699	9-2-2-0-R	DOUGLAS SCOTT	111 RACE POINT RD	PO BOX 1662	PROVINCETOWN	MA	02657
1700	9-2-3--001-R	CASEY MICHAEL	89-U1 RACE POINT RD	45 WEST 11TH ST #6A	NEW YORK	NY	10011
1701	9-2-3--002-R	ELAM DEBORAH	89-U2 RACE POINT RD	89-U2 RACE POINT RD	PROVINCETOWN	MA	02657
1702	9-2-3--003-R	MCBRIDE KEVIN P ET UX JUDITH A LYONS	89-U3 RACE POINT RD	50 EAST ELM AVE	QUINCY	MA	02170
1703	9-2-3--004-R	RAE OLIVER H	89-U4 RACE POINT RD	703 CAMINO DE LA FAMILIA UNIT 3208	SANTA FE	NM	87501-1273
1704	9-2-3--005-R	STRUMWASSER JOHN E ET VIR STEPHEN M CONNER	89-U5 RACE POINT RD	89-U5 RACE POINT RD	PROVINCETOWN	MA	02657
1705	9-2-3--006-R	TUFANO PHYLLIS	89-U6 RACE POINT RD	89-U6 RACE POINT RD	PROVINCETOWN	MA	02657
1706	9-2-3-A-001-R	GILLIES MARJORIE E	1-U1 SEASHORE PARK DR	1175 OAK PL	NIAGARA FALLS	NY	14304
1707	9-2-3-A-002-R	NEWMAN SILVIA M	1-U2 SEASHORE PARK DR	1 SEASHORE PARK DR #2	PROVINCETOWN	MA	02657
1708	9-2-3-A-003-R	MARGESSON JANE ET AL ERICA MAGNUS	1-U3 SEASHORE PARK DR	17 EVERGREEN LN	WINDHAM	ME	04062-4713
1709	9-2-3-A-004-R	ROBERT H MURRAY JR LIV TR ROBERT H MURRAY JR TTEE	1-U4 SEASHORE PARK DR	1-U4 SEASHORE PARK DR	PROVINCETOWN	MA	02657
1751	9-2-3-E-101-R	MOYIK JOSEPH J ET UX BARBARA ANN MOYIK	8-U1 SEASHORE PARK DR	114 FAIRFAX AVE	HAWTHORNE	NY	10532

Key	Parcel ID	Owner	Location	Mailing Street	Mailing City	ST	ZipCd/Country
1752	9-2-3-E-102-R	REYNOLDS RICHARD J ET AL	8-U2 SEASHORE PARK DR	702 59TH ST S	GULFPORT	FL	33707-2413
1753	9-2-3-E-203-R	PUCCI THOMAS	8-U3 SEASHORE PARK DR	PO BOX 34	PROVINCETOWN	MA	02657
1754	9-2-3-E-204-R	GUMBLETON PAUL J	8-U4 SEASHORE PARK DR	8-U4 SEASHORE PARK DR	PROVINCETOWN	MA	02657
1755	9-2-3-E-305-R	SHEA BRIAN O	8-U5 SEASHORE PARK DR	PO BOX 1893	PROVINCETOWN	MA	02657
1756	9-2-3-E-306-R	CONLIN JEROME P	8-U6 SEASHORE PARK DR	8-U6 SEASHORE PARK DR	PROVINCETOWN	MA	02657
1757	9-2-3-E-407-R	REARDON GARY J	8-U7 SEASHORE PARK DR	8-U7 SEASHORE PARK DR	PROVINCETOWN	MA	02657
1758	9-2-3-E-408-R	FRANKS REBECCA J ET AL ANNE F STOWE	8-U8 SEASHORE PARK DR	38 DOGWOOD LN	NEWMARKET	NH	03857-1842
1759	9-2-3-E-509-R	ANDREWS MICHAEL J ET UX MARIA D ANDREWS	8-U9 SEASHORE PARK DR	8 SEASHORE PARK DR #9	PROVINCETOWN	MA	02657
1760	9-2-3-E-510-R	MINASSIAN HARRY JR ET UX MARCIA MINASSIAN	8-U10 SEASHORE PARK DR	8-U10 SEASHORE PARK DR	PROVINCETOWN	MA	02657
1761	9-2-3-E-611-R	JOHNSON SARAH A	8-U11 SEASHORE PARK DR	8-U11 SEASHORE PARK DR	PROVINCETOWN	MA	02657
1762	9-2-3-E-612-R	MARGARET MARY VALENTI LIV TR MARTHA D GLADUE LIV TR	8-U12 SEASHORE PARK DR	85 EAST INDIA ROW UNIT 39D	BOSTON	MA	02110
1763	9-2-3-E-713-R	SULLIVAN ROBERT P ET UX DEBBY A SULLIVAN	8-U13 SEASHORE PARK DR	29 BELAIR RD	HINGHAM	MA	02043
1764	9-2-3-E-714-R	CAMERON ROBERT F	8-U14 SEASHORE PARK DR	8-U14 SEASHORE PARK DR	PROVINCETOWN	MA	02657
1765	9-2-3-E-815-R	ADUBA GODWIN C	8-U15 SEASHORE PARK DR	359 CIRCUIT ST	NORWELL	MA	02061
1766	9-2-3-E-816-R	HORWITZ TERRY R	8-U16 SEASHORE PARK DR	8 SEASHORE PARK DR #16	PROVINCETOWN	MA	02657
1767	9-2-3-G-B01-R	GALIANO ANGIE SOLER	101-UB1 RACE POINT RD	100-U228 ALDEN ST	PROVINCETOWN	MA	02657
1768	9-2-3-G-B02-R	SIRVENT NANCY M ET UX EDNA HOLLEY	101-UB2 RACE POINT RD	101-UB2 RACE POINT RD	PROVINCETOWN	MA	02657
1769	9-2-3-G-B03-R	MANNING JAMES T	101-UB3 RACE POINT RD	101-UB3 RACE POINT RD	PROVINCETOWN	MA	02657
1770	9-2-3-G-B04-R	GOLD MYRA	101-UB4 RACE POINT RD	PO BOX 992	PROVINCETOWN	MA	02657
1771	9-2-3-H-A01-R	MOGUIRE LEONARD DANIEL ET AL ROLLIN LEWIS SANDBERG JR	105-UA1 RACE POINT RD	380 STAFFORD ST	CHARLTON	MA	01507
1772	9-2-3-H-A02-R	JOHNSON KATHRYN DIANE ET UX NAN CINNATER	105-UA2 RACE POINT RD	105-UA2 RACE POINT RD	PROVINCETOWN	MA	02657
1773	9-2-3-H-A03-R	CATANESE KATHRYN L	105-UA3 RACE POINT RD	105-UA3 RACE POINT RD	PROVINCETOWN	MA	02657
1774	9-2-3-H-A04-R	HOLQUIST BARRY S	105-UA4 RACE POINT RD	208 OVERLOOK DR	TITUSVILLE	PA	16354
1776	9-2-3-J-C01-R	GIACHELLI H EDWARD	95-UC1 RACE POINT RD	23 WOODSIDE RD	PROVIDENCE	RI	02909-5026
1777	9-2-3-J-C02-R	SEASHORE PARK UNIT C-2 TR EDMUND J RAPAZZINI TTEE	95-UC2 RACE POINT RD	103 GERALD RD	MILTON	MA	02186
1778	9-2-3-J-C03-R	ANDERSON CASSANDRA	95-UC3 RACE POINT RD	95-UC3 RACE POINT RD	PROVINCETOWN	MA	02657
1779	9-2-3-J-C04-R	BERRY WILLIAM F ET AL BRIAN A FITZPATRICK	95-UC4 RACE POINT RD	95-UC4 RACE POINT RD	PROVINCETOWN	MA	02657
1780	9-2-4-0-R	SEVENTY-ONE RACE PT RD LLC	71 RACE POINT RD	501 ALHAMBRA CIRCLE	CORAL GABLES	FL	33134
1819	9-2-24-0-E	TOWN OF PROVINCETOWN BOARD OF SELECTMEN	90 RACE POINT RD	260 COMMERCIAL ST	PROVINCETOWN	MA	02657
11021	9-2-24-1-SLR-R	TOWN OF PROVINCETOWN BOARD OF SELECTMEN	90 RACE POINT RD	C/O ASSESSOR'S OFFICE 260 COMMERCIAL ST	PROVINCETOWN	MA	02657

9-2-1-B-R	9-2-1-C-R	9-2-1-D-R
OUTER EDGE NOMINEE TR MIRIAM A COLLINSON TTEE PO BOX 447 TRURO, MA 02666-0447	MICHAEL D DESARRO TR MICHAEL D DESARRO TTEE PO BOX 1961 PROVINCETOWN, MA 02657	BRIAN M PAYEA 2019 TR THOMAS W SKINNER 2019 TR 70 RACE POINT RD PROVINCETOWN, MA 02657-1528
9-2-2-0-R	9-2-3--001-R	9-2-3--002-R
DOUGLAS SCOTT PO BOX 1662 PROVINCETOWN, MA 02657	CASEY MICHAEL 45 WEST 11TH ST #6A NEW YORK, NY 10011	ELAM DEBORAH 89-U2 RACE POINT RD PROVINCETOWN, MA 02657
9-2-3--003-R	9-2-3--004-R	9-2-3--005-R
MCBRIDE KEVIN P ET UX JUDITH A LYONS 50 EAST ELM AVE QUINCY, MA 02170	RAE OLIVER H 703 CAMINO DE LA FAMILIA UNIT 3208 SANTA FE, NM 87501-1273	STRUMWASSER JOHN E ET VIR STEPHEN M CONNER 89-U5 RACE POINT RD PROVINCETOWN, MA 02657
9-2-3--006-R	9-2-3-A-001-R	9-2-3-A-002-R
TUFANO PHYLLIS 89-U6 RACE POINT RD PROVINCETOWN, MA 02657	GILLIES MARJORIE E 1175 OAK PL NIAGARA FALLS, NY 14304	NEWMAN SILVIA M 1 SEASHORE PARK DR #2 PROVINCETOWN, MA 02657
9-2-3-A-003-R	9-2-3-A-004-R	9-2-3-E-101-R
MARGESSON JANE ET AL ERICA MAGNUS 17 EVERGREEN LN WINDHAM, ME 04062-4713	ROBERT H MURRAY JR LIV TR ROBERT H MURRAY JR TTEE 1-U4 SEASHORE PARK DR PROVINCETOWN, MA 02657	MOYIK JOSEPH J ET UX BARBARA ANN MOYIK 114 FAIRFAX AVE HAWTHORNE, NY 10532
9-2-3-E-102-R	9-2-3-E-203-R	9-2-3-E-204-R
REYNOLDS RICHARD J ET AL 702 59TH ST S GULFPORT, FL 33707-2413	PUCCI THOMAS PO BOX 34 PROVINCETOWN, MA 02657	GUMBLETON PAUL J 8-U4 SEASHORE PARK DR PROVINCETOWN, MA 02657
9-2-3-E-305-R	9-2-3-E-306-R	9-2-3-E-407-R
SHEA BRIAN O PO BOX 1893 PROVINCETOWN, MA 02657	CONLIN JEROME P 8-U6 SEASHORE PARK DR PROVINCETOWN, MA 02657	REARDON GARY J 8-U7 SEASHORE PARK DR PROVINCETOWN, MA 02657
9-2-3-E-408-R	9-2-3-E-509-R	9-2-3-E-510-R
FRANKS REBECCA J ET AL ANNE F STOWE 38 DOGWOOD LN NEWMARKET, NH 03857-1842	ANDREWS MICHAEL J ET UX MARIA D ANDREWS 8 SEASHORE PARK DR #9 PROVINCETOWN, MA 02657	MINASSIAN HARRY JR ET UX MARCIA MINASSIAN 8-U10 SEASHORE PARK DR PROVINCETOWN, MA 02657
9-2-3-E-611-R	9-2-3-E-612-R	9-2-3-E-713-R
JOHNSON SARAH A 8-U11 SEASHORE PARK DR PROVINCETOWN, MA 02657	MARGARET MARY VALENTI LIV TR MARTHA D GLADUE LIV TR 85 EAST INDIA ROW UNIT 39D BOSTON, MA 02110	SULLIVAN ROBERT P ET UX DEBBY A SULLIVAN 29 BELAIR RD HINGHAM, MA 02043
9-2-3-E-714-R	9-2-3-E-815-R	9-2-3-E-816-R
CAMERON ROBERT F 8-U14 SEASHORE PARK DR PROVINCETOWN, MA 02657	ADUBA GODWIN C 359 CIRCUIT ST NORWELL, MA 02061	HORWITZ TERRY R 8 SEASHORE PARK DR #16 PROVINCETOWN, MA 02657

<p>9-2-3-G-B01-R</p> <p>GALIANO ANGIE SOLER 100-U228 ALDEN ST PROVINCETOWN, MA 02657</p>	<p>9-2-3-G-B01-R</p>	<p>SIRVENT NANCY M ET UX EDNA HOLLEY 101-UB2 RACE POINT RD PROVINCETOWN, MA 02657</p>	<p>9-2-3-G-B02-R</p>	<p>MANNING JAMES T 101-UB3 RACE POINT RD PROVINCETOWN, MA 02657</p>	<p>9-2-3-G-B03-R</p>
<p>9-2-3-G-B04-R</p> <p>GOLD MYRA PO BOX 992 PROVINCETOWN, MA 02657</p>	<p>9-2-3-G-B04-R</p>	<p>MCGUIRE LEONARD DANIEL ET AL ROLLIN LEWIS SANDBERG JR 380 STAFFORD ST CHARLTON, MA 01507</p>	<p>9-2-3-H-A01-R</p>	<p>JOHNSON KATHRYN DIANE ET UX NAN CINNATER 105-UA2 RACE POINT RD PROVINCETOWN, MA 02657</p>	<p>9-2-3-H-A02-R</p>
<p>9-2-3-H-A03-R</p> <p>CATANESE KATHRYN L 105-UA3 RACE POINT RD PROVINCETOWN, MA 02657</p>	<p>9-2-3-H-A03-R</p>	<p>HOLQUIST BARRY S 206 OVERLOOK DR TITUSVILLE, PA 16354</p>	<p>9-2-3-H-A04-R</p>	<p>GIACHELLI H EDWARD 23 WOODSIDE RD PROVIDENCE, RI 02909-5026</p>	<p>9-2-3-J-C01-R</p>
<p>9-2-3-J-C02-R</p> <p>SEASHORE PARK UNIT C-2 TR EDMUND J RAPAZZINI TTEE 103 GERALD RD MILTON, MA 02186</p>	<p>9-2-3-J-C02-R</p>	<p>ANDERSON CASSANDRA 95-UC3 RACE POINT RD PROVINCETOWN, MA 02657</p>	<p>9-2-3-J-C03-R</p>	<p>BERRY WILLIAM F ET AL BRIAN A FITZPATRICK 95-UC4 RACE POINT RD PROVINCETOWN, MA 02657</p>	<p>9-2-3-J-C04-R</p>
<p>9-2-4-0-R</p> <p>SEVENTY-ONE RACE PT RD LLC 501 ALHAMBRA CIRCLE CORAL GABLES, FL 33134</p>	<p>9-2-4-0-R</p>	<p>TOWN OF PROVINCETOWN BOARD OF SELECTMEN 260 COMMERCIAL ST PROVINCETOWN, MA 02657</p>	<p>9-2-24-0-E</p>	<p>TOWN OF PROVINCETOWN BOARD OF SELECTMEN C/O ASSESSOR'S OFFICE 260 COMMERCIAL ST PROVINCETOWN, MA 02657</p>	<p>9-2-24-1-SLR-R</p>

Key: 1693

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.584

CD	T	AC/SF/JUN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lri	VC	CREDIT AMT	ADJ VALUE
L	100	A	0.184	NN	1,001	100	1,000	R01	0.45			212,680
E	300	A	0.057	NN	1,001	100	1,000	R01	0.45			2,320
TOTAL 10.498 SF 247												

OUTER EDGE NOMINEE TR		MIRIAM A COLLINSON TTEE		PO BOX 447		TRURO, MA 02666-0447	
74 RACE POINT RD		74 RACE POINT RD		10/02/2014		02/25/2003	
OUTER EDGE NOMINEE TR		MIRIAM A COLLINSON		MONUMENT VALLEY NOMINEE T		08/09/2002	
9-2-1-B		TRANSEFER HISTORY		DOS		T	
PARCEL ID		LOCATION		SALE PRICE		Bk-Pg (Cert)	
1693		74 RACE POINT RD		1,284,212		1-28421-22	
				1,164,556		1-164556-69	
				1,154,556		1-154556-294	

CLASS	CLASS%	MULTI-USE RES	DESCRIPTION	BN ID	BN	CARD
01-B-236	50	MULTI-USE RES	10/06/2014 42 INSP DATA QU 12 MEMO 4/1 INSP BLDG PM 1 NEW CONST	08/20/2001	1	1 of 1
01-B-236				08/20/2001		

ASSESSED	CURRENT	PREVIOUS
LAND	215,000	200,900
BUILDING	646,700	435,200
DETACHED	0	0
OTHER	0	0
TOTAL	861,700	636,100

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
2	SLAB	0.95	+		N	ATTACHED GARAGE	1,776	2002	105.10	186,659
1	WOOD SHINGLES	1.00	+	BAS	L	BAS AREA	1,598		354.09	565,836
1	GABLE	1.00	D	OPA	N	OPEN PORCH	100		103.98	10,398
1	ASPHALT SHINGLE	1.00								
1	HARDWOOD	1.00								
2	DRYWALL	1.00								
2	HOT WATER	1.02								
2	GAS	1.00								
2	TITLE V	1.00								

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
2	SLAB	0.95	+		N	ATTACHED GARAGE	1,776	2002	105.10	186,659
1	WOOD SHINGLES	1.00	+	BAS	L	BAS AREA	1,598		354.09	565,836
1	GABLE	1.00	D	OPA	N	OPEN PORCH	100		103.98	10,398

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
2	SLAB	0.95	+		N	ATTACHED GARAGE	1,776	2002	105.10	186,659
1	WOOD SHINGLES	1.00	+	BAS	L	BAS AREA	1,598		354.09	565,836
1	GABLE	1.00	D	OPA	N	OPEN PORCH	100		103.98	10,398

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Part to Miriam A Collinson

Street and PO Box No. 447

City, State, ZIP+4® Truro, Ma 02666-0447

20	(A) BAS 0.30 AGR	18	(B) BAS 0.30 AGR	20	(C) BAS 0.30 AGR	5	(D) OPA
40		32		20			

PS Form 3800, April 2015 PSN 7530-02-000-907 See Reverse for Instructions

Key: 1694

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1,585

CD	T	ACR/FUN	Nbhd	Inft1	Inft2	ADJ BASE	SAFE	Use	Lpl	VC	CREDIT AMT	ADJ VALUE
100	A	0.157	NN	1.00	100	1,155,870	1.14	100	R01	0.45		207,020
TOTAL 6,839 SF ZONING R3 FNNIT 70												

CD	T	ACR/FUN	Nbhd	Inft1	Inft2	ADJ BASE	SAFE	Use	Lpl	VC	CREDIT AMT	ADJ VALUE
100	A	0.157	NN	1.00	100	1,155,870	1.14	100	R01	0.45		207,020
TOTAL 6,839 SF ZONING R3 FNNIT 70												

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD

ASSESSED	CURRENT	PREVIOUS
LAND	207,000	193,500
BUILDING	711,600	649,900
DETACHED	0	0
OTHER	0	0
TOTAL	918,600	843,400

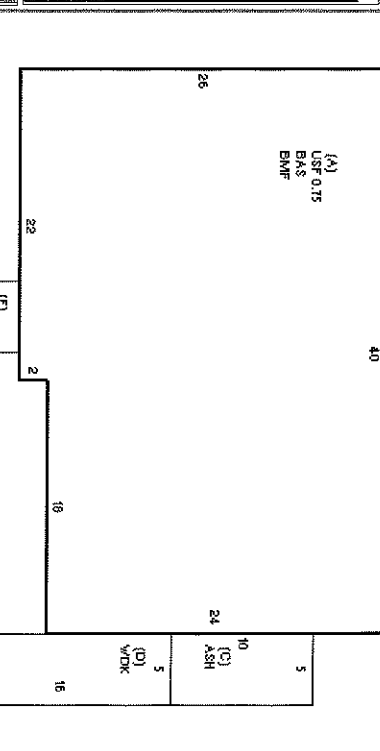
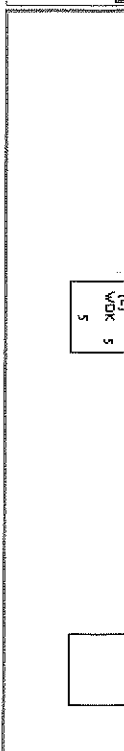


PHOTO 04/28/2020
BLDG COMMENTS
FY18: SEC D: SX16 WDK ADDED

CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD
1010	100	SINGLE FAMILY		1	1 of 1
20-BP-2596		RENOVATIONS	04/23/2021	AH	100
20-BP-2596		RENOVATIONS	04/23/2021	CB	100
20-BP-0062		RENOVATIONS	05/13/2020	NL	100
		RESIDENT	07/22/2019	CAM	0

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
4	BSMT WALL	1.00	A	BSMT	N	BSMT FIN-SEP	1.004	2001	136.71	137,256
1	WOOD SHINGLES	1.00	A	USF	L	UP-STRY FIN	753	2001	271.70	204,590
1	GABLE	1.00	C	ASH	L	BAS AREA	1,436	2001	336.39	483,049
1	ASPHALT SHINGLE	1.00	C	ASH	N	ATT SHED	50		47.55	2,377
1	HARDWOOD	1.00	+	WDK	N	ATT WOOD DECK	105		69.18	7,264
2	DRYWALL	1.00								
2	HOT WATER	1.00								
2	GAS	1.00								
2	TITLE V	1.00								



TOTAL RCN	CONDITION	ELEM	CD
847	136		V
11	11	%	A
5	5	UC	A
0	0	ECON	A
16	16	% GD	A
			A
			A
			A
			A

EFF YR/AGE	2010 / 11
COND	11 11 %
FUNC	5 UC
ECON	0
DEPR	16 % GD
RCNLD	84

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
4	BSMT WALL	1.00	A	BSMT	N	BSMT FIN-SEP	1.004	2001	136.71	137,256
1	WOOD SHINGLES	1.00	A	USF	L	UP-STRY FIN	753	2001	271.70	204,590
1	GABLE	1.00	C	ASH	L	BAS AREA	1,436	2001	336.39	483,049
1	ASPHALT SHINGLE	1.00	C	ASH	N	ATT SHED	50		47.55	2,377
1	HARDWOOD	1.00	+	WDK	N	ATT WOOD DECK	105		69.18	7,264
2	DRYWALL	1.00								
2	HOT WATER	1.00								
2	GAS	1.00								
2	TITLE V	1.00								

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Postage \$0.00
Total Postage and Fees \$0.00

Sent by Michael D. Desarro 02/1
Street and Apt. No. or P.O. Box No. PO BOX 1961
City, State, Zip+4 Province town, Ma 02657

Key: 1695

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 am

SEC #: 1586

CURRENT OWNER

BRIAN M PAVEA 2019 TR
THOMAS W SKINNER 2019 TR
70 RACE POINT RD
PROVINCETOWN, MA 02667-1528

PARCEL ID

9-2-1-D

LOCATION

70 RACE POINT RD

CLASS

1010

CLASS%

100

DESCRIPTION

SINGLE FAMILY

BN ID

1

BN

1 of 1

CARD

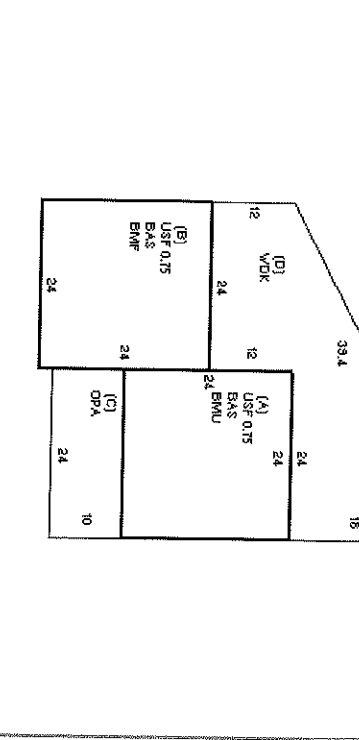
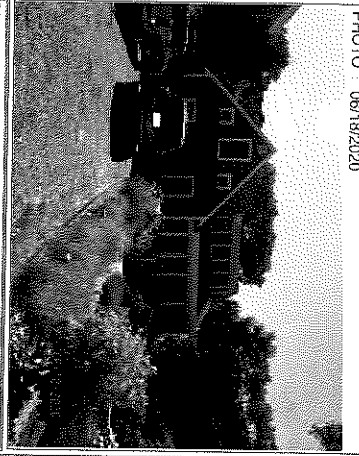
1 of 1

CD	T	AC/SF/LIN	Nbhd	Int1	Int2	Int3	ADJ BASE	SF	Use	Lpi	VC	CREDIT AMT	ADJ VALUE
100	A	0.184	NN	1.00	1.00	1.00	1,155,870	1.00	100	1.00	PO1	0.45	212,690
300	A	0.013	NN	1.00	1.00	1.00	40,770	1.00	100	1.00	ROT	0.45	530
TOTAL													8,802 SF

TY	QUAL	COND	DIAM/NOTE	Y3	UNITS	ADJ PRICE	FRNT	RCNLD
							70	

CLASS	CLASS%	DESCRIPTION	AMOUNT	NSP	BY	1st	%
1010	100	SINGLE FAMILY					
20-BP-0882	03/02/2020	42 INSP DATA QU	21,000	06/07/2014	CB	0	0
21-BP-191	04/02/2021	70 RESIDENT	10,000	09/27/2021	CAM	0	0
		3 RENOVATIONS		07/28/2021	CB	100	100
		16 SKETCH UPDAT		09/22/2020	CB	100	100
		3 RENOVATIONS				0	0

ASSESSED	CURRENT	PREVIOUS
LAND	213,200	199,300
BUILDING	759,200	626,600
DETACHED	0	0
OTHER	0	0
TOTAL	972,400	825,900



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 Adult Signature Required \$1.10
 Adult Signature Restricted Delivery \$3.00
 Postage \$0.00
 Total Postage and Fees \$0.00

DATE	CB
9/6/2014	CB
1/20/21	INT
9/20/22	CAM

BUILDING COMMENTS
FY15 -REAR WOOD DECK ADDED, LLF TO BMF

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
4	BSMT WALL	1.00	A	BMU	N	BSMT UNFINISHED	576	2003	97.96	56,425
1	WOOD SHINGLES	1.00	+	BAS	L	BAS AREA	1,152	2003	354.09	407,912
1	GABLE	1.00	+	USF	L	UP-STRY FIN	864	2003	286.00	247,104
1	ASPHALT SHINGLE	1.00	B	BMF	N	BSMT FIN-SEP	576		170.37	98,133
1	HARDWOOD	1.00	C	OPA	N	OPEN PORCH	240		81.36	19,531
2	DRYWALL	1.00	D	WDK	N	ATT WOOD DECK	837		54.81	45,713
2	HOT WATER	1.02	F21	N	O	FPL 2S 10P	1		17,836.50	17,837
2	GAS	1.00								
2	TITLE V	1.00								

Sent to Brian W Skinner
70 Race Point Rd
Provincetown, Ma 02667-1528

TOTAL RCN	CONDITION ELEM	CD
903,853	EXTERIOR	A
	INTERIOR	A
	KITCHEN	A
	BATHS	A
	HEAT	A
	ELECT	A

EFF YR/AGE 2003 / 18
 COND 16 16 %
 FUNC 0
 ECON 0
 DEPR 16 % GD 94
 RCNLD \$759,200

Key: 1699

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.588

CURRENT OWNER

PARCEL ID

LOCATION

CLASS

CLASS%

DESCRIPTION

BN ID

BN

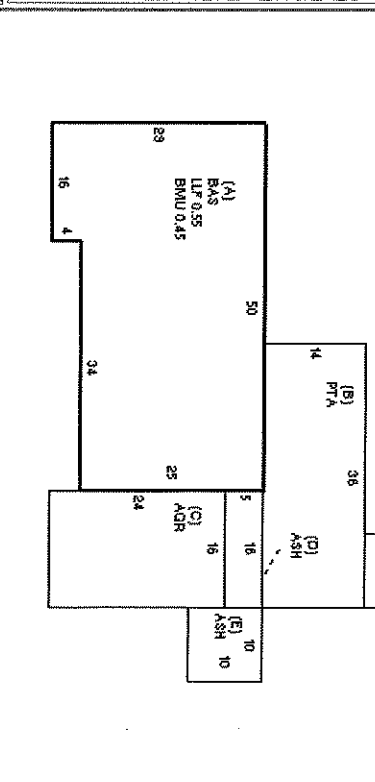
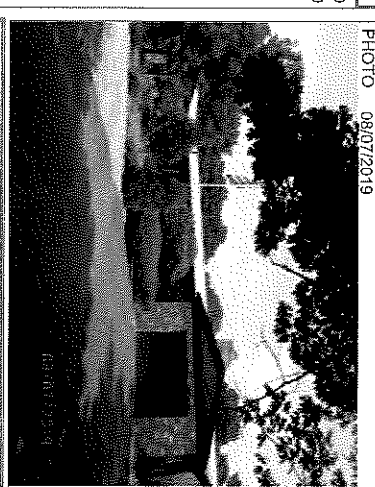
CARD

DOUGLAS SCOTT	9-2-2-0	111 RACE POINT RD	1040	100	TWO FAMILY	09/12/2022	1	1 of 1			
PROVINCETOWN, MA 02657	TRANSFER HISTORY	DOUGLAS SCOTT	PMT NO	PMT DT	IV	DESC	AMOUNT	INSP	BY	1st	%
		DOUGLAS SCOTT	70	05/23/2022	RESIDENT	NEW CONST	140,000	0	CAM	0	0
		LACASSE RICHARD L ET AL	3	11/29/2021	RENOVATIONS		100,000	0	CB	30	30
		LACASSE RICHARD	42		INSP DATA QU			08/14/2019	NL	100	100
			42		INSP DATA QU			10/13/2015	CB	100	100

CD	TY	ACR/FEUN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
100	A	0.184	NN	1.00	1.00	1,155,870	1.00	100	1.00	R01	0.45	212,680
200	A	0.746	NN	1.00	1.00	270,135	1.00	100	1.00	R01	0.45	207,520
TOTAL												

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
SHF	A+	1.10	V	0.90	2000	23.23	2,300
SHF	A+	1.10	V	0.90	2000	23.23	2,300
TOTAL							

ASSESSED	CURRENT	PREVIOUS
LAND	414,200	387,100
BUILDING	796,300	539,600
DETACHED	4,600	4,400
OTHER	0	0
TOTAL	1,215,100	931,100



CD	DESCRIPTION	ADJ	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
4	BSMT WALL	1.00	A	N	BSMT UNFINISHED	591	1972	128.87	76,162
12	BRICK VENEER	1.00	A	L	LOWER LEVEL FIN	723	1972	299.12	216,260
1	GABLE	1.00	A	L	BAS AREA	1,314	1972	465.82	612,090
1	ASPHALT SHINGLE	1.00	B	N	PATIO	504		22.36	11,269
1	HARDWOOD	1.00	C	N	ATTACHED GARAGE	384		154.34	59,267
2	DRYWALL	1.00	A	N	ATT SHED	280		65.84	18,436
7	FL/WALL FURN.	0.98	F-1	O	FPL IS TOP	1		16,892.00	16,892
2	GAS	1.00							
2	TITLE V	1.00							

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TO: **DOUGLAS SCOTT**
 PROVINCETOWN, MA 02657

FROM: **SCOTT DOUGLAS**
 PO BOX 1699
 PROVINCETOWN, MA 02657

Postage: \$0.63

Total Postage and Fees: \$4.78

Postmark: Here

RCNLD: 1020877

CONDITION ELEM: CD

EFF YR/AGE: 2014/7

COND: 7 7%

FUNC: 15 UC

ECON: 0

DEPR: 22 % GD

RCNLD: \$796,300

Key: 1701

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1 590

CURRENT OWNER		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD	
ELAM DEBORAH	89-02 RACE POINT RD	PROVINCETOWN, MA 02557	89-02 RACE POINT RD	1020	100	CONDOMINIUM									
TRANSFER HISTORY		DOS	T	SALE PRICE	BK+G (Certi)										
ELAM DEBORAH		09/09/2015	OS	449,000	(C275-2)										
DEVER WILLIAM TODD ET AL		03/10/2005	OS	438,000	(1277742)										
LUIZ JAY WAYNE		06/04/2003	OS	335,000	(2752 / 995902)										
CD	TY	ACR/SFUN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lpi	VC	CREDIT AMT	ADJ VALUE			
TOTAL	13,190 SF	ZONING	R3	FRNT	57										

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	634,200	556,800
DETACHED	0	0
OTHER	0	0
TOTAL	634,200	556,800

TY	QUAL	COND	DIV/NOTE	YB	UNITS	ADJ PRICE	RCNLD
Nbhd							
Int1							
Int2							



BLDG COMMENTS

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
134	RACE POINT LOFT	1.35	NLA	L	LIVING AREA	1,535	1988		394.56	605,651
1	APT	1.05	DPP	O	DECK/PAT/PORCH	195			14.59	2,845
15	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	1			23,894.00	23,894
1	NELSONSEASH.PK	1.75								
1	NONE	1.00								
100	HT-WT/COOL AIR	1.00								
2	GAS	1.00								
1	NO	0.00								
1	1FPPL	\$1,800								
1	NONE	1.00								
2	TITLE V	1.00								

TOTAL RCN	634,190
CONDITION ELEM	CD
EXTERIOR	G
INTERIOR	V
KITCHEN	G
BATHS	G
HEAT	A
ELECT	A

EFF. YR/AGE	2021 / 0
COND	0 0 %
FUNC	0
ECON	0
DEPR	0 % GD
RCNLD	100

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Postage \$0.53

Total Postage and Fees \$4.13

Sent to Deborah Clam

Street and Apt. No., PO Box, No. 89-02 Race Point Rd

City, State, ZIP+4® Provincetown, MA 021057

Key: 1702

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1 591

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD	
MCBRIDE KEVIN P ET UX JUDITH A LYONS 50 EAST ELM AVE QUINCY, MA 02170		9-2-3-003		89-03 RACE POINT RD		1020	100	COND	MINIMUM			BN ID	BN	1	1	1	1
TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Cent)	PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%			
MCBRIDE KEVIN P ET UX		09/08/2003	QS	330,000	(275-3 / 938667)						12/14/2015	CB	0	0			
GRADY WILLIAM E		04/02/1999	QS	165,000	(275-3 / 761385)												
KREISINGER BRYAN D		09/04/1998	QS	165,000	(275-3 / 738663)	10-RP-047	09/14/2009	42	INSP DATA QU 3 RENOVATIONS				100	100			

CD	T	ACR/SFUN	Nbrhd	Int1	Int2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
TOTAL						13,190 SF						57

TY	QUAL	COND	DIV/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL						13,190 SF	

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	571,600	502,500
DETACHED	0	0
OTHER	0	0
TOTAL	571,600	502,500



CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
134	RACE POINT LOFT	1.35					1,200	1988	446.89	536,273
1	APT	1.05	N/A	L	LIVING AREA				14.47	2,865
1	WOOD SHINGLE	1.00	DPP	O	DECK/PAT/PORCH		198			
15	NELSON/SEASH.PK	1.75	PSP	O	PARKING SPACE		1		23,884.00	23,884
1	NONE	1.00								
100	100	1.00								
5	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
1	1FP/L	\$1,800								
1	NONE	1.00								
2	TITLE V	1.00								

COND	FUNCTION	DEPR	RCNLD	
0	0	0	100	
TOTAL RCN				571,572
CONDITION ELEM				CD
EXTERIOR				V
INTERIOR				V
KITCHEN				V
BATHS				V
HEAT				V
ELECT				V

EFF. YR/AGE	2021/0	
COND	0 0 %	
FUNC	0	
ECON	0	
DEPR	0 % GD	
RCNLD	100	
TOTAL		\$571,600

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
016	CB									
016	INT									
017	RP									

PHOTO 12/14/2016

BLDG COMMENTS

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Adult Signature Restricted Delivery \$0.00

Postage \$0.63

Total Postage and Fees \$4.78

02/04/2023

Street and Apt. No., or PO Box No.
Kevin McBride + Judith A. Lyons
50 East Elm Ave
Quincy, Ma 02170

City, State, ZIP+4®
Quincy, Ma 02170

PS Form 3800, April 2015 PSN 7530-01-000-9047 See Reverse for Instructions

2021 2720 0002 4426 4186

Key: 1703

Town of Provincetown - Fiscal Year 2023

9/20/2022

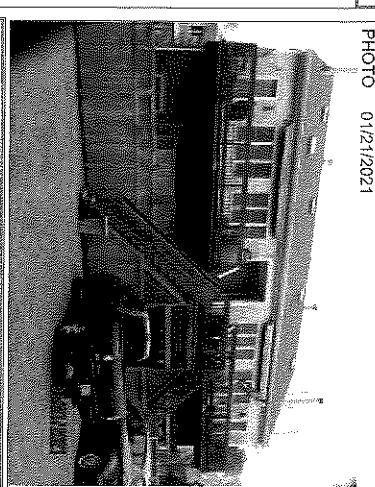
9:00 pm

SEQ #: 1,592

RAE OLIVER H 703 CAMINO DE LA FAMILIA UNIT 3208 SANTA FE, NM 87501-1273		CURRENT OWNER		PARCEL ID 9-2-3-004		LOCATION 89-1/4 RACE POINT RD					
TRANSFER HISTORY		RAE OLIVER H MCHENRY PETER A ET AL GAL CLAUDIA A		DOS 09/15/2015 OS 11/01/2002 QS 02/07/2002 H		T SALE PRICE 387,500 (275-4 / 1278063) 300,000 (275-4 / 891798) 1 (275-4 / 860418)					
CD	T	ACSFUN	Nbrd	Int1	Int2	ADJ BASE	SAF Use	VC	CREDIT AMT	ADJ VALUE	
TOTAL		13,190 SF		ZONING R3		FRNT 57					

ASSESSED		CURRENT		PREVIOUS	
LAND	0	0	0	502,500	0
BUILDING	571,600	0	0	0	0
DETACHED	0	0	0	0	0
OTHER	0	0	0	0	0
TOTAL	571,600	0	0	502,500	0

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
134	RACE POINT LOFT	1.35	NLA	L	LIVING AREA	1,200	1988	446.89	536,273	571,552
1	APT	1.05	DPP	O	DECK/PAT/PORCH	195	1988	14.59	2,845	571,552
15	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	1	1988	23,884.00	23,884	571,552
1	NELSON/SEASH.PK	1.75								
1	NONE	1.00								
100	ELECTRIC BB	1.00								
100	ELECTRIC	1.00								
1	NO	0.00								
1	1 FPL	\$1,800								
1	NONE	1.00								
2	TITLE V	1.00								



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 Return Receipt (electronic) \$3.00
 Certified Mail Restricted Delivery \$18.00
 Adult Signature Required \$18.00
 Adult Signature Restricted Delivery \$18.00
 Postage \$0.63
 Total Postage and Fees \$4.15
 Sent to Oliver H Rae
 Street and P.O. Box No. 703 Camino de la Familia Unit 3208
 City, State, ZIP+4® Santa Fe, NM 87501-1273

POST Form 3800, April 2015 PSN 7530-2-000-917
 See Instructions for Instructions

TOTAL RCN		571,552	
CONDITION ELEM		CD	
EXTERIOR	V		
INTERIOR	V		
KITCHEN	V		
BATHS	V		
HEAT	V		
ELECT	V		
EFF. YR/AGE	2021 / 0		
COND	0 0 %		
FUNC	0		
ECON	0		
DEPR	0 % GD		
RCNLD	100		
TOTAL		\$571,600	


Key: 1704 Parcel ID: 9-2-3-005 Location: 89-JR RACE POINT RD

Town of Provincetown - Fiscal Year 2023

9/20/2022 9:00 pm SEQ #: 1593

CD	T	AC/SF/UN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lpl	VC	CREDIT AMT	ADJ VALUE
STRUMWASSER JOHN E ET VIR												
TRANSFER HISTORY												
89-JR RACE POINT RD												
STRUMWASSER JOHN E ET VIR												
NATALE PASQUALE												
STAIRCASE REALTY TR												
DOS												
05/14/2018 OS												
08/22/2012 F												
11/21/1995 OS												
450,000 (275-5 / 1346125)												
118,000 (275-5 / 552710)												
10-RR-047												
CLASS CLASS% CONDOMINIUM												
1020 100												
PMT NO 1207/2020												
DESC 3 RENOVATIONS												
AMOUNT 20,000												
INSP 08/23/2021												
BY 07/18/2018												
12/14/2016												
CAM 0												
CB 0												
100 100												

CD	T	AC/SF/UN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lpl	VC	CREDIT AMT	ADJ VALUE
TOTAL 13,190 SF												
ZONING R3												
FRNT 57												
Nbhd												
Int1												
Int2												
ASSESSED CURRENT PREVIOUS												
LAND 0 0												
BUILDING 571,600 502,500												
DETACHED 0 0												
OTHER 0 0												
TOTAL 571,600 502,500												

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
PHOTO: 08/24/2021							
							
BLDG COMMENTS							

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
134	RACE POINT LOFT	1.35	NLA	L	LIVING AREA	1,200	1988	446.89	536,273	
1	APT	1.05	DPP	O	DECK/PATIO/PORCH	198		14.47	2,865	
15	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	1		23,884.00	23,884	
1	NELSON/SEASH.PK	1.75								
1	NONE	1.00								
100	100	1.00								
7	FLRMWALL UNIT	1.00								
2	GAS	1.00								
1	NO	0.00								
1	FPL	1.00								
1	NONE	1.00								
2	TITLE V	1.00								

TOTAL RCN	571,572
CONDITION ELEM	CD
EXTERIOR	V
INTERIOR	V
KITCHEN	V
BATHS	V
HEAT	V
ELECT	V
EFF YR/AGE	2021 / 0
COND	0 0 %
FUNC	0
ECON	0
DEPR	0 % GD
RCNLD	100
TOTAL	\$571,600

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1704 Provincetown, MA 02657

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Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$16.00

Adult Signature Required \$3.00

Adult Signature Restricted Delivery \$5.00

Postage \$10.63

Total Postage and Fees \$4.15

Postmark Provincetown, MA 02657

Sent to: John Strumwasser & Stephen Conner

Street and Apt. No. or PO Box No. 89-JR RACE POINT RD

City, State, ZIP+4® Provincetown, MA 02657

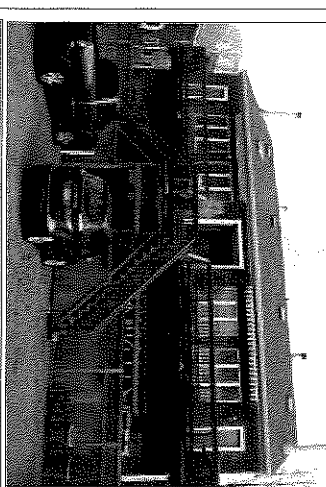
PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7021 2720 0002 4726 4762

CD	T	ACRSE/FUN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE																																																
<p>PARCEL ID: 9-2-3-006 LOCATION: 89-108 RACE POINT RD</p> <p>TRANSFER HISTORY: TUFANO PHYLIS, TUFANO ALFRED G ET UX, RACE POINT LOFT CONDOMINIUM</p> <p>DOS: 10/12/2011 A, 09/26/1989 QS, 05/15/1989 CC</p> <p>SALE PRICE: 65,000 (275-6 / 1175425), 110,000 (275-6 / 491835), (275-483766)</p>																																																												
<table border="1"> <thead> <tr> <th>CLASS</th> <th>CLASS%</th> <th>DESCRIPTION</th> <th>BN ID</th> <th>BN</th> <th>CARD</th> </tr> </thead> <tbody> <tr> <td>1020</td> <td>100</td> <td>CONDOMINIUM</td> <td>1</td> <td>1</td> <td>1 of 1</td> </tr> <tr> <td>FMT NO</td> <td>FMT DT</td> <td>TV</td> <td>DESC</td> <td>AMOUNT</td> <td>INSP</td> <td>BY</td> <td>1st</td> <td>%</td> </tr> <tr> <td>10-RP-047</td> <td>09/14/2009</td> <td>42</td> <td>INSP DATA CU</td> <td>2,845</td> <td>12/14/2016</td> <td>CB</td> <td>0</td> <td>0</td> </tr> <tr> <td></td> <td></td> <td>3</td> <td>RENOVATIONS</td> <td>23,884</td> <td>07/13/2007</td> <td>CAM</td> <td>100</td> <td>100</td> </tr> <tr> <td></td> <td></td> <td>70</td> <td>RESIDENT</td> <td>23,884</td> <td></td> <td></td> <td>0</td> <td>0</td> </tr> </tbody> </table>													CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD	1020	100	CONDOMINIUM	1	1	1 of 1	FMT NO	FMT DT	TV	DESC	AMOUNT	INSP	BY	1st	%	10-RP-047	09/14/2009	42	INSP DATA CU	2,845	12/14/2016	CB	0	0			3	RENOVATIONS	23,884	07/13/2007	CAM	100	100			70	RESIDENT	23,884			0	0
CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD																																																							
1020	100	CONDOMINIUM	1	1	1 of 1																																																							
FMT NO	FMT DT	TV	DESC	AMOUNT	INSP	BY	1st	%																																																				
10-RP-047	09/14/2009	42	INSP DATA CU	2,845	12/14/2016	CB	0	0																																																				
		3	RENOVATIONS	23,884	07/13/2007	CAM	100	100																																																				
		70	RESIDENT	23,884			0	0																																																				

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL					13,190 SF	57	
Nbhd							
Int1							
Int2							

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	571,600	502,500
DETACHED	0	0
OTHER	0	0
TOTAL	571,600	502,500



BLDG COMMENTS

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
134	RACE POINT LOFT	1.35	NLA	L	LIVING AREA	1,200	1988		446.89	536,273
1	APT	1.05	DPP	O	DECK/PAT/PORCH	195			14.59	2,845
1	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	1			23,884.00	23,884
15	NEILSON/SEASH.PK	1.75								
1	NONE	1.00								
100	100	1.00								
7	FLRWALL UNIT	1.00								
2	GAS	1.00								
1	NO	0.00								
1	1 FPL	\$1,900								
1	1 NONE	1.00								
2	TITLE V	1.00								

2016	CB
2016	NOH
2017	RF

PHOTO 12/14/2016

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PPV1 REC'D 10/25/23

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Adult Signature Restricted Delivery \$3.00

Postage \$0.63

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Send To: **Phyllis Tufano**
 Street and Apt. No. or PO Box No.: **89-108 Race Point Rd**
 City/State ZIP+4®: **Provincetown, MA 02657**

TOTAL RCN	571,552
CONDITION ELEM	CD
EXTERIOR	V
INTERIOR	
KITCHEN	
BATHS	
HEAT	
HEAT	
ELECT	
EFF. YR/AGE	2021 / 0
COND	0 0 %
FUNC	0
ECON	0
DEPR	0 % GD 100
RCNLD	\$571,600

Key: 1706

Town of Provincetown - Fiscal Year 2023

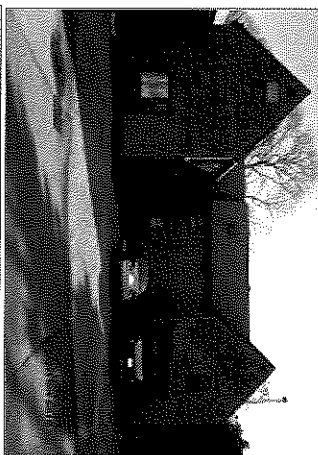
9/20/2022

9:00 pm

SEQ #: 1,596

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID	BN	CARD			
GILLES MARJORIE E 1175 OAK PL NIAGARA FALLS, NY 14304		9-2-3-A-001		1-U1 SEASHORE PARK DR		1020	100	CONDOMINIUM				1	1	of 1			
TRANSFER HISTORY		DOS		T		SALE PRICE		BK-PG (Crd)		DESC		AMOUNT		INSP			
GILLES MARJORIE E SEASHORE PARK TH L CONDOM		10/03/1995 QS 04/01/1987 CC		90,000		(228-1 / 649061)		(C288-424892)		42 INSP DATA OU 70 INSP DATA OU 12 MEMO		11/25/2019 08/10/2011 04/06/2009 12/13/2006		NL CB CAM PMG		0 0 0 100	

CD	T	ACR/FLIN	Nbhd	Inft1	Inft2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
TOTAL						6,051 SF						
ZONING R3 FRNT 59												
STORAGE = ATTIC												
Nbhd												
Inft1												
Inft2												
ASSESSED						CURRENT	PREVIOUS					
LAND						0	0					
BUILDING						443,200	389,300					
DETACHED						0	0					
OTHER						0	0					
TOTAL						443,200	389,300					

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	BLDG COMMENTS
								11/25/2019	
									

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 Certified Mail Restricted Delivery \$11.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$0.00

Sent To **Majorie E. Gilles**
 Street and Apt. No., PO Box No. **1175 Oak Pl**
 City, State, ZIP+4® **Niagara Falls NY 14304**

CD	DESCRIPTION	ADJ	S	B	A	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD									
146	SEASHORE PK I	1.20	NLA	L	LIVING AREA	940	1985	471.77	443,463			497,985											
9	TH-END	1.10	STG	N	STORAGE	430		7.69	3,307														
15	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	2		22,266.00	44,512														
15	NELSON/SEASH,PK	1.75	YRD	O	YARD	280		7.69	2,153														
1	NONE	1.00																					
100	ELECTRIC BB	1.00																					
1	ELECTRIC	1.00																					
1	NO	0.00																					
99	0 FPL	0.00																					
2	CRAWL	4.00																					
2	TITLEV	1.00																					
<table border="1"> <tr> <td>EEF.YRAGE</td> <td>1985 / 35</td> </tr> <tr> <td>COND</td> <td>11 11 %</td> </tr> <tr> <td>FLUNC</td> <td>0</td> </tr> <tr> <td>ECON</td> <td>0</td> </tr> <tr> <td>DEPR</td> <td>11 % GD</td> </tr> <tr> <td>RCNLD</td> <td>89</td> </tr> </table>												EEF.YRAGE	1985 / 35	COND	11 11 %	FLUNC	0	ECON	0	DEPR	11 % GD	RCNLD	89
EEF.YRAGE	1985 / 35																						
COND	11 11 %																						
FLUNC	0																						
ECON	0																						
DEPR	11 % GD																						
RCNLD	89																						

7021 2720 0002 4426 4346

Key: 1707

Town of Provincetown - Fiscal Year 2023

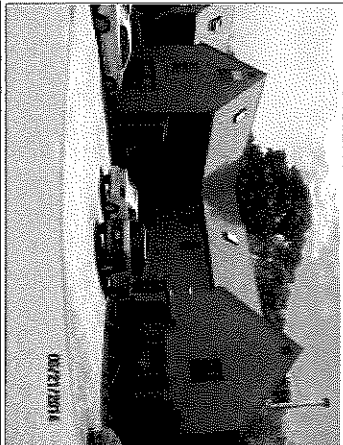
9/20/2022

9:00 pm

SEQ #: 1,596

CURRENT OWNER			PARCEL ID			LOCATION			CLASS			DESCRIPTION			BN ID			BN			CARD		
NEWMAN SILVIA M 1 SEASHORE PARK DR #2 PROVINCETOWN, MA 02657			5-2-3-A-002			1-02 SEASHORE PARK DR			1020			CONDOMINIUM			1			1 of 1					
TRANSEER HISTORY			DOS			T			SALE PRICE			BK-PG (Crd)											
NEWMAN SILVIA M SEASHORE PARK TH I CONDOM			03/20/1995 QS 04/01/1987 CC			93,000			(228-2 635848) (C288-424892)														
CD	T	ACR/SFLN	Nbrd	Int1	Int2	ADJ BASE	SAF	Use	Lvl	VC	CREDIT AMT	ADJ VALUE											

ZONING		FRNT		ASSESSED		CURRENT		PREVIOUS	
TOTAL	6,051 SF	R3	59	LAND	0	476,100	0	410,700	0
Nbrd				BUILDING	0	0	0	0	0
Int1				DETACHED	0	0	0	0	0
Int2				OTHER	0	0	0	0	0
TOTAL				TOTAL	476,100		410,700		



BLDG COMMENTS

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
1/2014	CB									
3/2014	CB									
4/2014	RF									

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 Return Receipt (hardcopy) \$4.15
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$0.00

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
146	SEASHORE PK I	1.20	NLA	L	LIVING AREA	887	1985		433.96	384,924
10	TH-MID	1.10	NLA	L	LIVING AREA	220	1985		433.96	95,472
15	WOOD SHINGLE	1.00	BMU	N	BASEMENT	430			7.72	3,319
1	NELSONSEASH.PK	1.75	PSP	O	PARKING SPACE	2			22,256.00	44,512
100	NONE	1.00	YRD	O	YARD	276			7.72	2,130
5	ELECTRIC BB	1.00								
100	ELECTRIC	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	-1.00								
2	TITLE V	1.00								

Sent to *Silvia M Newman*
 Street and Apt. No. or PO Box No. *1 Seashore Park Dr #2*
 City, State, ZIP+4® *Provincetown, Ma 02657*

TOTAL RCN	534,907
CONDITION ELEM	CD
EXTERIOR	A
INTERIOR	
KITCHEN	
BATHS	
HEAT	
ELECT	
EFF. YR/AGE	1985 / 36
COND	11 11 %
FUNC	0
ECON	0
DEPR	11 % GND
RCNLD	89
TOTAL	\$476,100

Key: 1708

Town of Provincetown - Fiscal Year 2023

9/20/2022

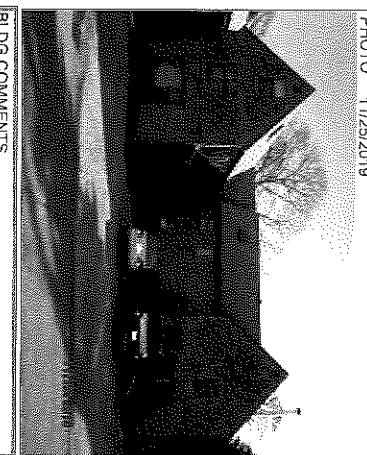
9:00 pm

SEQ #: 1,597

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD	
MARGESSON JANE ET AL	ERICA MAGNUS	9-2-3-A-003		1-U3 SEASHORE PARK DR		1020	100	CONDOMINIUM		42 INSP DATA QU	11/25/2019	NL	1	1 of 1			
17 EVERGREEN LN										70 RESIDENT	11/28/2012	CAM	0	0			
WINDHAM, ME 04062-4713										42 INSP DATA QU	08/10/2011	CB	0	0			
										2 ADDITIONS		PMG	100	100			

TOTAL	6,051 SF	ZONING	R3	FRNT	59	ASSESSED	CURRENT	PREVIOUS
Nbhd						LAND	0	0
Inf1						BUILDING	480,700	422,500
Inf2						DETACHED	0	0
						OTHER	0	0
						TOTAL	480,700	422,500

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD



CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
146	SEASHORE PK I	1.20	N/A	L	LIVING AREA	907	1986	429.03	389,431	
9	TH-END	1.10	N/A	L	LIVING AREA	225	1990	429.03	96,532	
1	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	2		22,256.00	44,512	
15	WELSONSEASH.PK	1.75	YRD	O	YARD	250		12.89	3,222	
1	NONE	1.00								
100	ELECTRIC BB	1.00								
1	NONE	1.00								
5	ELECTRIC BB	1.00								
1	NO	0.00								
3	ELECTRIC	0.00								
1	NO	0.00								
99	O FPL	0.00								
2	CRAWL	4.00								
2	TITLE V	1.00								

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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$0.00

Sent To: **Jane Margesson & Erica Magnus** 027
 Street and Apt. No., or PO Box No. **17 Evergreen Ln**
 City, State, ZIP+4® **Windham, Ma 01092-4713**

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
146	SEASHORE PK I	1.20	N/A	L	LIVING AREA	907	1986	429.03	389,431		540,147	A	
9	TH-END	1.10	N/A	L	LIVING AREA	225	1990	429.03	96,532			A	
1	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	2		22,256.00	44,512			A	
15	WELSONSEASH.PK	1.75	YRD	O	YARD	250		12.89	3,222			A	
1	NONE	1.00											
100	ELECTRIC BB	1.00											
1	NONE	1.00											
5	ELECTRIC BB	1.00											
1	NO	0.00											
3	ELECTRIC	0.00											
1	NO	0.00											
99	O FPL	0.00											
2	CRAWL	4.00											
2	TITLE V	1.00											

EFF. YR/AGE	1986 / 35
COND	11 11 %
FLUNC	0
ECON	0
DEPR	11 % GD
RCNLD	89
TOTAL	\$480,700

Key: 1709

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1,598

CD	T	ACR/FUN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Use	Lvl	VC	CREDIT AMT	ADJ VALUE
1												
CURRENT OWNER												
ROBERT H MURRAY JR LIV TR												
ROBERT H MURRAY JR TTEE												
1-04 SEASHORE PARK DR												
PROVINCETOWN, MA 02557												
TRANSFER HISTORY												
ROBERT H MURRAY JR LIV TR												
MURRAY ROBERT H												
SEASHORE PARK TH CONDOM												
DOS												
07/27/2017 F												
04/29/1987 OS												
04/01/1987 CC												
1 (C228-4												
100,000 /1325356)												
(228-4 / 427580)												
CLASS												
1020												
CLASS%												
100												
CONDOMINIUM												
DESCRIPTION												
14-9P-015												
08/20/2013												
70 RESIDENT												
3 RENOVATIONS												
42 INSP DATA QU												
2 ADDITIONS												
2 ADDITIONS												
AMOUNT												
3,650												
BN ID												
07/31/2017												
CAM												
0												
07/30/2009												
CB												
0												
12/21/2006												
PMG												
100												
100												
100												

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
146	SEASHORE PK I	1.20	N/A	L	LIVING AREA	940	1985	423.00	397,623	
9	TH-END	1.10	N/A	L	LIVING AREA	225	2001	423.00	95,176	
1	WOOD SHINGLE	1.00	BMU	N	BASEMENT	450		8.37	3,765	
15	NELSON/SEASH-PK	1.75	PSP	O	PARKING SPACE	2		22,256.00	44,512	
1	NONE	1.00	YSD	O	YARD	150		8.37	1,255	
100	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	4.00								
2	TITLE V	1.00								

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
146	SEASHORE PK I	1.20	N/A	L	LIVING AREA	940	1985	423.00	397,623	
9	TH-END	1.10	N/A	L	LIVING AREA	225	2001	423.00	95,176	
1	WOOD SHINGLE	1.00	BMU	N	BASEMENT	450		8.37	3,765	
15	NELSON/SEASH-PK	1.75	PSP	O	PARKING SPACE	2		22,256.00	44,512	
1	NONE	1.00	YSD	O	YARD	150		8.37	1,255	
100	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	4.00								
2	TITLE V	1.00								

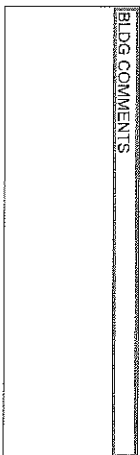


PHOTO 09/22/2015

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CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
146	SEASHORE PK I	1.20	N/A	L	LIVING AREA	940	1985	423.00	397,623	
9	TH-END	1.10	N/A	L	LIVING AREA	225	2001	423.00	95,176	
1	WOOD SHINGLE	1.00	BMU	N	BASEMENT	450		8.37	3,765	
15	NELSON/SEASH-PK	1.75	PSP	O	PARKING SPACE	2		22,256.00	44,512	
1	NONE	1.00	YSD	O	YARD	150		8.37	1,255	
100	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	4.00								
2	TITLE V	1.00								

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Return Receipt (hardcopy) \$4.15

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Certified Mail Restricted Delivery \$11.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$10.00

Total Postage and Fees \$10.00

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
146	SEASHORE PK I	1.20	N/A	L	LIVING AREA	940	1985	423.00	397,623	
9	TH-END	1.10	N/A	L	LIVING AREA	225	2001	423.00	95,176	
1	WOOD SHINGLE	1.00	BMU	N	BASEMENT	450		8.37	3,765	
15	NELSON/SEASH-PK	1.75	PSP	O	PARKING SPACE	2		22,256.00	44,512	
1	NONE	1.00	YSD	O	YARD	150		8.37	1,255	
100	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	4.00								
2	TITLE V	1.00								

Sent to **Robert H. Murray Jr**

Street and Apt. No., or PO Box No.
1-04 Seashore Park Dr.

City, State, ZIP+4®
Provincetown, Ma. 01957

021

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
146	SEASHORE PK I	1.20	N/A	L	LIVING AREA	940	1985	423.00	397,623	
9	TH-END	1.10	N/A	L	LIVING AREA	225	2001	423.00	95,176	
1	WOOD SHINGLE	1.00	BMU	N	BASEMENT	450		8.37	3,765	
15	NELSON/SEASH-PK	1.75	PSP	O	PARKING SPACE	2		22,256.00	44,512	
1	NONE	1.00	YSD	O	YARD	150		8.37	1,255	
100	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	4.00								
2	TITLE V	1.00								

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Key: 1751

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1,640

CD	T	ACSP/PLN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Use	LP	VC	CREDIT AMT	ADJ VALUE
CURRENT OWNER												
MOYIK JOSEPH J ET UX												
BARBARA ANN MOYIK												
114 FAIRFAX AVE												
HAWTHORNE, NY 10532												
PARCEL ID: 9-2-3-E-101												
LOCATION: 8-U1 SEASHORE PARK DR												
TRANSFER HISTORY												
MOYIK JOSEPH J ET UX												
SEASHORE PINES CONDOMINIUM												
DOS: 03/15/1991												
IOS: 06/20/1989												
ICC: CC												
BK/Pg (CAR): 87,900 (277-1/52984)												
(C277-485991)												

TOTAL	1.011 Acres	ZONING	R3	FRNT	72
Nbhd		09-2-003-E-001			
Inf1					
Inf2					
ASSESSED					
LAND					
BUILDING					
DETACHED					
OTHER					
TOTAL					

TT	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCN1/D	PHOTO	12/07/2016
BIDG COMMENTS:									



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Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$0.00

Sent To: Barbara M. Moyik 02/

Street and Apt. No. or PO Box No. 114 Fairfax Ave

City, State ZIP+4[®] Hawthorne, NY 10532

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	N/A	L	LIVING AREA	880	1988		568.94	500,664
9	TH-END	1.10	BMU	N	BASEMENT	440			6.31	2,775
15	WOOD SHINGLE	1.00	DPP	O	DECK/PAT/PORCH	140			6.31	883
1	NELSON/SEASH.PK	1.75	PSP	O	PARKING SPACE	2			25,965.50	51,991
1	NONE	1.00	YRD	O	YARD	480			6.31	3,027
100	FORCED AIR	1.00								
2	GAS	1.00								
1	NO	0.00								
99	O.P.L.	0.00								
4	FULL	4.00								
2	TITLE V	1.00								

TOTAL RCN	563,830
CONDITION ELEM	CD
EXTERIOR	A
INTERIOR	A
KITCHEN	
BATHS	
HEAT	
ELECT	
EFF. YR/AGE	1998 / 33
COND	10 10 %
PLNC	0
ECON	0
DEPR	10 % GD 90
RCN1/D	\$507,400

Key: 1752

Town of Provincetown - Fiscal Year 2023

9/20/2022

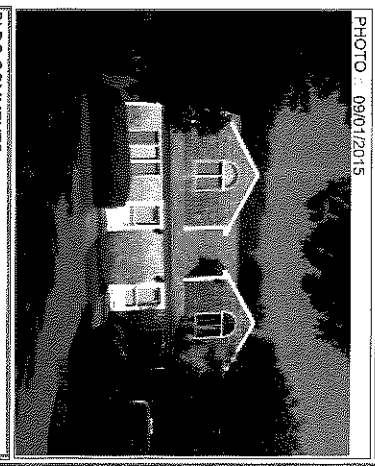
9:00 pm

SEQ #: 1341

CD	TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PARCEL ID	LOCATION	CLASS	CLASS%	PMT NO	PMT DT	TY	DESCRIPTION	AMOUNT	INSP	BN ID	BN	CARD
L									8-2-3-E-102	8-02 SEASHORE PARK DR	1920	100				CONDOMINIUM			1	1 of 1	
E									TRANSFER HISTORY												
G									REYNOLDS RICHARD J ET AL	06/10/2015	QS	376,500	(277-2 / 1271041)	70	RESIDENT			04/14/2020	CAV	0	0
A									ANDERSON-BISSON LISA MARI	06/21/1999	N	(277-2 / 1145830)		42	INSP DATA CU			09/01/2015	CB	0	0
L									VINCENT PETER E	04/14/1995	QS	105,800	(277-2 / 637538)								

CD	TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	ASSESSED	CURRENT	PREVIOUS
TOTAL									LAND	0	0
									BUILDING	546,500	479,900
									DETACHED	0	0
									OTHER	0	0
									TOTAL	546,500	479,900

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
149	SEASHORE PINES	1.40	L		L	LOWER LEVEL FIN	330	1988	363.14	119,836	607.181		
9	TH-END	1.10	L		L	LIVING AREA	880	1988	483.91	425,845			
1	WOOD SHINGLE	1.00	L		L	BASEMENT	110		8.36	920			
15	NELSON/SEASH.PK	1.75	D	P	O	DECK/PAT/PORCH	290		8.37	2,426			A
1	NOVE	1.00	O		O	PARKING SPACE	2		25,965.50	51,931			
100	FORCED AIR	1.00	O		O	YARD	200		8.37	1,673			
2	GAS	1.00											
1	NO	0.00											
99	0 FPL	0.00											
4	FULL	4.00											
2	TITLE V	1.00											



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Sent To **Richard Reynolds**
 Street and Apt. No., or PO Box No.
702 59th St S
 City, State, ZIP+4[®]
Gulfport, FL 33707-2413

EFF YRAGE	COND	FLNC	ECON	DEPR	RCNLD
1988 / 33	10	10 %	0	10 %	90
					\$546,500

Key: 1753

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1,642

CURRENT OWNER		PARCEL ID	LOCATION	
PUCCI THOMAS PO BOX 34 PROVINCETOWN, MA 02657		9-2-3-E-203	B-U3 SEASHORE PARK DR	
TRANSFER HISTORY		DOS	T	SALE PRICE
		08/18/2017 QS		388,000 (277-3 / 1327914)
		11/10/2009 OS		339,000 (277-3 / 1127832)
		08/03/2007 F		10 (277-3 / 1070272)
CD	T	ACR/FLN	Nbhd	Inf1
ADJ BASE SAF Use Lpl VC CREDIT AMT ADJ VALUE				
ASSESSED CURRENT PREVIOUS				
LAND		0		0
BUILDING		534,100		469,000
DETACHED		0		0
OTHER		0		0
TOTAL		534,100		469,000

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL	1.011	Acres				72	
			ZONING	R3			

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	LLF	L	LOWER LEVEL FIN	220	1988	381.37	83,901	
9	TH-END	1.10	NLA	L	LIVING AREA	880	1988	508.21	447,222	
15	WOOD SHINGLE	1.00	BMU	N	BASEMENT	220		7.19	1,581	
1	NELSON/SEASH.PK	1.75	DPP	O	DECK/PAT/PORCH	20		7.20	144	
1	NONE	1.00	PSP	O	PARKING SPACE	2		25,965.50	51,931	
100	NONE	1.00	YRD	O	YARD	575		7.19	4,132	
2	HOT WATER	1.00								
2	GAS	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	4.00								
2	TITLE V	1.00								

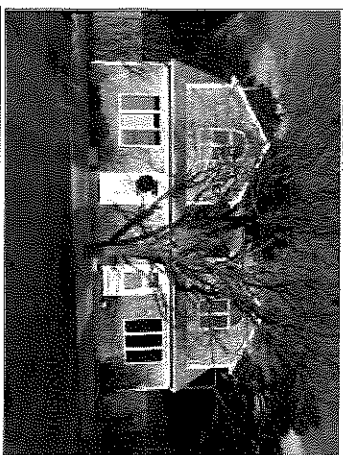


PHOTO: 12/27/2017

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 Certified Mail Restricted Delivery \$11.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$0.00

Sent to **Thomas Pucci** \$10.43
 Street and Apt. No. **PO Box 34**
 City, State, ZIP+4® **Provincetown, MA 02657**

2021 1753 1753 1753 1753

PS Form 3800, April 2015 PSN 7530-02-000-9001 See Reverse for Instructions

Key: 1754

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1,643

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD	
GUMBLETON PAUL J 8-14 SEASHORE PARK DR PROVINCETOWN, MA 02657		9-2-3-E-204		8-14 SEASHORE PARK DR		1020	100	100	100	CONDOMINIUM	42	NSP DATA CU	12/07/2016	CB	BY	1st	1 of 1
TRANSFER HISTORY		GUMBLETON PAUL J PERRONE JOHN JR ET AL PERRONE JOHN		DOS T 07/05/2016 OS 02/15/2002 F 03/17/1997 OS		42	70	70	70	RESIDENT	70	RESIDENT	07/05/2016	CAM		0	0
ADJ BASE		SAF Use		Lbr		VC		CREDIT AMT		ADJ VALUE							

CD	TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL						1.011 Acres	FRNT 72	
Nbhd						ZONING R3		
Inf1						09-2-003-E-004		
Inf2								

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	561,800	493,300
DETACHED	0	0
OTHER	0	0
TOTAL	561,800	493,300

PHOTO 12/07/2016



BLDG COMMENTS:

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	LIF		L	LOWER LEVEL FIN	440	1988	347.79	153,027
9	TH-END	1.10	NLA		L	LIVING AREA	880	1988	463.46	407,844
1	WOOD SHINGLE	1.00	DPP		O	DECK/PAT/PORCH	20		6.15	123
15	NELSONSEASH.PK	1.75	PSP		O	PARKING SPACE	2		25,965.50	51,831
1	NONE	1.00	YRD		O	YARD	1,100		6.13	6,748
100	FORCED AIR	1.00								
100	GAS	1.00								
2	NO	0.00								
1	FPL	0.00								
99	FULL	4.00								
4	TITLE V	1.00								
2		1.00								

TOTAL RCN	624,223	CD
CONDITION ELEM		A
EXTERIOR		
INTERIOR		
KITCHEN		
BATHS		
HEAT		
ELECT		
EFF YRAGE	1988 / 33	
COND	10 10 %	
FLNC	0	
ECON	0	
DEPR	10 % GD	90
RCNLD	\$561,800	

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 Return Receipt (hardcopy) \$3.00
 Certified Mail Restricted Delivery \$10.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$0.00

Sent to **Paul G. Blythe**
 Street and Apt. No., or PO Box No. **8-14 Seashore Park Dr.**
 City, State Zip+4® **Provincetown Ma 02657**

Key: 1755

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.644

CURRENT OWNER		PARCEL ID		LOCATION	
SHEA BRIAN O PO BOX 1893 PROVINCETOWN, MA 02657		9-2-3-E-305		8-1/5 SEASHORE PARK DR	
TRANSFER HISTORY		DOS	T	SALE PRICE	BK-PG (Gard)
SHEA BRIAN O		10/30/2006	QS	336,000 (277.5/1047931)	
MEADS ROBERT R		07/13/1989	QS	105,000 (277.5/487392)	
SEASHORE PINES CONDOMINIUM		06/20/1989	CC	(C277-485991)	
CD	T	ACR/FUN	Nbrhd	Infr1	Infr2
ADJ BASE		SAF	Use	Lbl	VC
					CREDIT AMT
					ADJ VALUE

TY	QUAL	COND	DIAM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL					1,011 Acres		
Nbrhd							
Infr1							
Infr2							
ZONING		R3					
FRNT		72					
ASSESSED		CURRENT	PREVIOUS				
LAND		0	0				
BUILDING		537,200	471,800				
DETACHED		0	0				
OTHER		0	0				
TOTAL		537,200	471,800				

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	LLF	L	LOWER LEVEL FIN	220	1989	380.41	83,690	
9	TH-END	1.10	NLA	L	LIVING AREA	885	1989	506.93	448,632	
1	WOOD SHINGLE	1.00	BMU	N	BASEMENT	220		5.21	1,147	
15	MELSONSEASH.PK	1.75	DPP	O	DECK/PAT/PORCH	140		5.21	730	
1	NONE	1.00	PSP	O	PARKING SPACE	2		25,965.50	57,931	
100	100	1.00	YRD	O	YARD	1,200		5.21	6,255	
1	FORCED AIR	1.00								
1	OIL	1.00								
1	NO	0.00								
99	10 FPL	0.00								
4	FULL	1.00								
2	TITLE V	1.00								

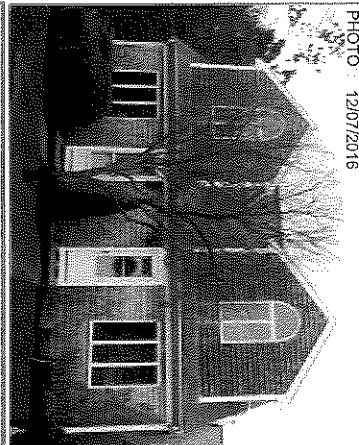


PHOTO : 12/07/2016

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Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$0.00

Send To **Brian O Shea**

Street and Apt. No., PO Box No. **PO Box 1893**

City, State, ZIP+4® **Provincetown, MA 02657**

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	LLF	L	LOWER LEVEL FIN	220	1989	380.41	83,690	
9	TH-END	1.10	NLA	L	LIVING AREA	885	1989	506.93	448,632	
1	WOOD SHINGLE	1.00	BMU	N	BASEMENT	220		5.21	1,147	
15	MELSONSEASH.PK	1.75	DPP	O	DECK/PAT/PORCH	140		5.21	730	
1	NONE	1.00	PSP	O	PARKING SPACE	2		25,965.50	57,931	
100	100	1.00	YRD	O	YARD	1,200		5.21	6,255	
1	FORCED AIR	1.00								
1	OIL	1.00								
1	NO	0.00								
99	10 FPL	0.00								
4	FULL	1.00								
2	TITLE V	1.00								

TOTAL RCN	596,935
CONDITION ELEM	CD
EXTERIOR	A
INTERIOR	A
KITCHEN	A
BATHS	A
BATHS	A
HEAT	A
ELECT	A
EFF. YR/AGE	1989 / 32
COND	10 10 %
FUNC	0
ECON	0
DEPR	10 % CD
RCNLD	90
	\$537,200

Key: 1756

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1,945

CURRENT OWNER		LOCATION		DESCRIPTION		AMOUNT		BNID		BN		CARD	
CONLIN JEROME P	8-U6 SEASHORE PARK DR	PROVINCETOWN, MA 02657	8-U6 SEASHORE PARK DR	CLASS	CLASS%	PMT NO	PMT DT	CONDOMINIUM	DESC	AMOUNT	BNID	BN	CARD
TRANSFER HISTORY				10/20/2020	OS	436,000	(C27T-67/40942)	43	NSP SALES Q	11,539	12/16/2020	NL	100
				03/25/2016	OS	365,000	(C27T-67/290719)	70	RESIDENT	0	12/09/2020	CAM	0
				06/28/2004	OS	347,000	(971784/22776)	3	RENOVATIONS	1,846	05/13/2017	CB	100
													100

CD	T	ACR/FUN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lvl	VC	CREDIT AMT	ADJ VALUE
TOTAL 1.011 Acres FRNT 72												
ZONING R3												
N 09-2-003-E-006												
ASSESSED CURRENT PREVIOUS												
LAND 0 0 0												
BUILDING 513,600 451,100												
DETACHED 0 0												
OTHER 0 0												
TOTAL 513,600 451,100												

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	BLDG COMMENTS
								12/16/2020	FY17 REPLACE BATH W/WALK IN SHOWER 100%



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Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$0.00

Sent to **Jerome P Conlin**

Street and Apt. No., or P.O. Box No. **8-U6 Seashore Park Dr**

City, State, ZIP+4® **Provincetown, MA 02657**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See reverse for instructions

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
149	SEASHORE PINES	1.40	N/A	L	LIVING AREA	885	1989	567.66	502,377	564,450		A	
9	TH-END	1.10	BMU	N	BASEMENT	440		7.52	3,307			A	
1	WOOD SHINGLE	1.00	DDP	O	DECK/PAT/PORCH	160		7.52	1,203			A	
15	NELSON/SEASH.PK	1.75	PSP	O	PARKING SPACE	2		25,965.50	51,931			A	
1	NONE	1.00	YRD	O	YARD	144		7.51	1,082			A	
5	ELECTRIC BB	1.00										A	
3	ELECTRIC	1.00										A	
1	NO	0.00										A	
99	O FPL	0.00										A	
4	FULL	-1.00										A	
2	TITLE V	1.00										A	

EFF. YR/AGE 1992 / 29

COND 9 9 %

FUNC 0

ECON 0

DEPR 9 % GD 91

RCNLD \$513,600

Key: 1757

Town of Provincetown - Fiscal Year 2023

9/20/2022

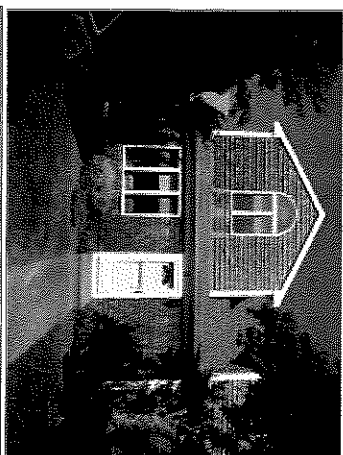
9:00 pm

SEQ #: 1,646

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD	
REARDON GARY J	8-U7 SEASHORE PARK DR	9-2-3-E-407	8-U7 SEASHORE PARK DR	1020	100	CONDOMINIUM	70	RESIDENT	1,500	06/29/2022	CAW	0	0	100	100	0	0
REARDON GARY J	SEASHORE PINES CONDOMINIUM	06/20/1989	CC	99,900	(277-71190353)	(C277-486991)	3	RENOVATIONS	4,500	03/09/2021	NL	0	0	0	0	100	0
				20-BP-78	10/30/2020	3 RENOVATIONS	42	INSP DATA CU		05/25/2022		0	0	0	100	0	0
										12/07/2016	CB	0	0	0	0	0	0

CD	T	ACR/FUN	Nbrd	Int1	Int2	ADJ BASE	SAF	Use	Lbr	VC	CREDIT AMT	ADJ VALUE
TOTAL		1.011 Acres										

PHOTO: 06/15/2022



BLDG COMMENTS:

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 Certified Mail Restricted Delivery \$0.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$0.00

Sent to: Raymond Reardon
 Street and Apt. No.: 8-U7 Seashore Park Dr.
 City, State, ZIP+4: Provincetown, Ma 01957

PS Form 3800, April 2015 PSN 7530-02-000-90-0

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
149	SEASHORE PINES	1.40	L	L	L	LOWER LEVEL FIN	280	1989	371.30	103,963	600,624	A	
9	TH-END	1.10	L	NLA	L	LIVING AREA	880	1989	494.78	435,409			
1	WOOD SHINGLE	1.00	L	BMU	L	BASEMENT	160		8.77	1,403			
15	NELSONSEASH.PK	1.75	O	DPP	O	DECK/PAT/PORCH	240		8.77	2,105			
1	NONE	1.00	O	PSP	O	PARKING SPACE	2		25,965.50	51,931			
100	FORCED AIR	1.00	O	YRD	O	YARD	144		8.77	1,283			
100	GAS	1.00											
1	NO	0.00											
99	O FPL	0.00											
4	FULL	4.00											
2	TITLE V	1.00											

EFF. YR	AGE	PERCENT
COND	10	10%
FLUNC	0	
ECON	0	
DEPR	10	90%

RCNLD	\$540,600
-------	-----------

Key: 1758

Town of Provincetown - Fiscal Year 2023

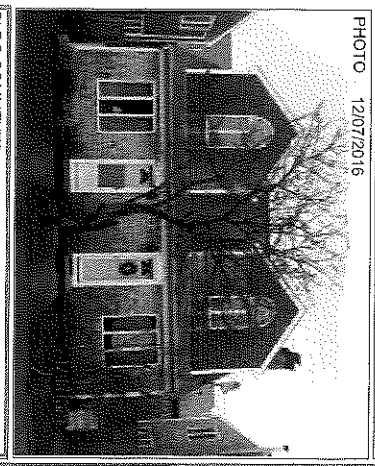
9/20/2022

9:00 pm

SEQ #: 1,647

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD									
FRANKS REBECCA J ET AL		9-2-3-E-408		8-UB SEASHORE PARK DR		1020		100		CONDOMINIUM		1207/2016		1		1 of 1									
ANNE F STOWE 38 DOGWOOD LN NEWMARKET, NH 03857-1842		TRANSFER HISTORY		DOS		T		SALE PRICE		BK-PG (Cent)		PMT NO		PMT DT		TY									
		FRANKS REBECCA J ET AL DEVITA STEPHEN L ESTATE O RIPA ROANL D A		06/26/2015 QS 04/25/2002 QS 03/05/2004 QS		382,000 (277-8/127247) 263,000 (277-8/869443) 236,000 (277-8/825787)				10-BP-357 01-B-046		05/18/2010		42 INSP DATA CU 70 RESIDENT 3 RENOVATIONS 2 ADDITIONS		AMOUNT 5,200 9,000		INSP 12/07/2016 08/03/2015		BY CB CAM		TST 0 0 100 100		%	

CD	T	ACR/FUN	Nbrhd	Inf1	Inf2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
TOTAL 1.011 Acres												
ZONING R3												
FRNT 72												
Nbrhd N 09-2-003-E-008												
Inf1 O T E												
Inf2 E												
TOTAL 509,400												
447,600												

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
PHOTO 12/07/2016							
							
BLDG COMMENTS							

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Adult Signature Restricted Delivery \$0.00

Return Receipt (electronic) \$0.00

Return Receipt (hardcopy) \$0.00

Certified Mail Restricted Delivery \$0.00

Certified Mail Fee \$4.15

Extra Services & Fees (check box and fee as appropriate)

Postage \$11.63

Total Postage and Fees \$11.63

Sent To: **Rebecca J Franks** Stowe 021

Street and Apt. No.: **38 Dewood Ln**

City, State, ZIP+4: **Neumarket, NH 03857-1842**

PS Form 3800, April 2015 PSN 7530-02-000-9017 See Reverse for Instructions

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	565,959
149	SEASHORE PINES	1.40	N/A	L	LIVING AREA	880	1989		568.94	500,664		
9	TH-END	1.10	BMW	N	BASEMENT	440			6.00	2,642		
1	WOOD SHINGLE	1.00	DDP	O	DECK/PAT/PORCH	200			6.01	1,201		
15	NELSONSEASH.PK	1.75	PSP	O	PARKING SPACE	2			25,965.50	51,931		
1	NONE	1.00	YRD	O	YARD	528			6.01	3,171		
100	FURWALL UNIT	1.00										
1	GAS	1.00										
1	NO	0.00										
1	1 FPL	\$1,800										
4	FULL	4.00										
2	TITLE V	1.00										
EFF. YR/AGE 1989 / 32												
COND 10 10 %												
FUNG 0												
ECON 0												
DEPR 10 % GD												
RCNLD												\$509,400

Key: 1759

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ # 1,648

CURRENT OWNER		PARCEL ID	LOCATION	
ANDREWS MICHAEL J ET UX		9-2-3-E-509	8-U9 SEASHORE PARK DR	
MARIA D ANDREWS		TRANSFER HISTORY	DOS	T
8 SEASHORE PARK DR #9		ANDREWS MICHAEL J ET UX	12/17/1993	QS
PROVINCETOWN, MA 02657		SEASHORE PINES CONDOMINIUM	06/20/1989	CC
CD	T	ACR/FLN	Nbhd	Inft1
				Inft2
				ADJ BASE
				SAF
				Use
				Lp1
				VC
				CREDIT AMT
				ADJ VALUE

CLASS	CLASS%	CONDOMINIUM	DESCRIPTION	AMOUNT	INSP	BN ID	BN	CARD
1020	100						1	1 of 1
PMT NO	PMT DT	TY	DESC					
20-BP-2173	09/17/2020	3	RENOVATIONS	2,000	11/24/2020	NL	100	100
		42	INSP DATA QU		12/07/2016	CB	0	0
		70	RESIDENT		06/26/2007	RF	0	0
04-B-082	09/16/2003	3	RENOVATIONS	650			100	100

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL			1.011 Acres			72	
Nbhd			N GARDEN SHED				
Inft1			O				
Inft2			E				

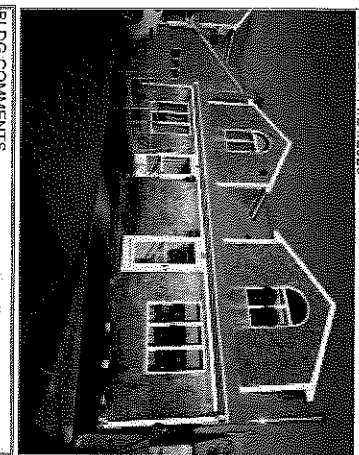


PHOTO 11/24/2020

BLDG COMMENTS

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	NLA	L	LIVING AREA	880	1989	589.94	500,664	564,719
9	TH-END	1.10	BMU	N	BASEMENT	440		6.60	2,992	
15	WOOD SHINGLE	1.00	MSC	O	MISC OTHER	700		1.70	1,190	
1	NELSON/SEASH,PK	1.75	PSP	O	PARKING SPACE	2		25,965.50	51,931	
1	NONE	1.00	VRD	O	YARD	526		6.59	3,482	
100	100	1.00								
1	FORCED AIR	1.00								
1	OIL	1.00								
1	NO	0.00								
99	O FPL	0.00								
4	FULL	1.00								
2	TITLE V	1.00								

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	NLA	L	LIVING AREA	880	1989	589.94	500,664	564,719
9	TH-END	1.10	BMU	N	BASEMENT	440		6.60	2,992	
15	WOOD SHINGLE	1.00	MSC	O	MISC OTHER	700		1.70	1,190	
1	NELSON/SEASH,PK	1.75	PSP	O	PARKING SPACE	2		25,965.50	51,931	
1	NONE	1.00	VRD	O	YARD	526		6.59	3,482	
100	100	1.00								
1	FORCED AIR	1.00								
1	OIL	1.00								
1	NO	0.00								
99	O FPL	0.00								
4	FULL	1.00								
2	TITLE V	1.00								

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Street and Apt. No., or PO Box No.: Seashore Park Dr. #9

Sent to: Michael + Maria Andrews

Extra Services & Fees (check box and fee as appropriate):
 Return Receipt (hardcopy) \$4.15
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 Adult Signature Required \$0.00
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Postage: \$0.00

Total Postage and Fees: \$0.00

7/20/16 CB
 4/20/20 INT
 7/20/21 CB

PHOTO 11/24/2020

ASSESSED CURRENT PREVIOUS
 LAND 0 446,400
 BUILDING 508,200 0
 DETACHED 0 0
 OTHER 0 0
 TOTAL 508,200 446,400

CD DESCRIPTION ADJ S BAT T DESCRIPTION UNITS YB ADJ PRICE RCN

149 SEASHORE PINES 1.40 NLA L LIVING AREA 880 1989 589.94 500,664
 9 TH-END 1.10 BMU N BASEMENT 440 6.60 2,992
 15 WOOD SHINGLE 1.00 MSC O MISC OTHER 700 1.70 1,190
 1 NELSON/SEASH,PK 1.75 PSP O PARKING SPACE 2 25,965.50 51,931
 1 NONE 1.00 VRD O YARD 526 6.59 3,482

TOTAL RCN 564,719
 CONDITION ELEM CD
 EXTERIOR INTERIOR A
 INTERIOR INTERIOR A
 KITCHEN KITCHEN A
 BATHS BATHS A
 HEAT HEAT A
 ELECT ELECT A

EFF. YR/AGE 1989 / 32
 COND 10 10 %
 FUNC 0
 ECON 0
 DEPR 10 % GD 90

RCNLD \$508,200

Key: 1760

Town of Provincetown - Fiscal Year 2023

9/20/2022

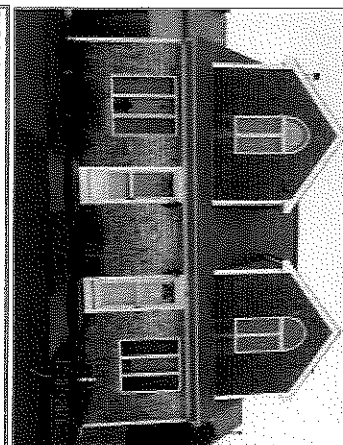
9:00 pm

SEQ #: 1,649

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD	
MARCIA MINASSIAN		9-2-3-E-310		8-10 SEASHORE PARK DR		1020		100		CONDOMINIUM		1		1		1 of 1	
MINASSIAN HARRY JR ET UX		TRANSFER HISTORY		DOS		T		SALE PRICE		BK-FG (Cash)		INSP		BY		%	
8-10 SEASHORE PARK DR		MINASSIAN HARRY JR ET UX		09/13/2000		QS		223,000		(27-10 / 810697)		04/19/2018		CAM		0	
PROVINCETOWN, MA 02657		GOLDEN JAMES F		10/09/1997		F		1		(27-10 / 70649)		12/07/2016		CB		0	
		SEASHORE PINES CONDOMINIUM		08/20/1989		CC		(C277-485991)		01-B-384		12/24/2001		3 RENOVATIONS		4,500	
CD		T		ACSE/IN		Nbd		Infl		Infl2		ADJ BASE		SAF		Use	
LAND																	

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	12/07/2016	BLDG COMMENTS	
TOTAL	1.011	Acres	ZONING R3	FRNT	72			LAND	0	PREVIOUS	0
Nbd			IN 09-2-003-E-010					BUILDING	559,800		491,600
Infl1								DETACHED	0		0
Infl2								OTHER	0		0
TOTAL								TOTAL	559,800		491,600

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
149	SEASHORE PINES	1.40	L	L	L	LOWER LEVEL FIN	440	1989	347.79	153,027	622,051		A
9	TH-END	1.10	L	L	L	LIVING AREA	880	1989	463.46	407,844			
15	WOOD SHINGLE	1.00	P	P	P	PARKING SPACE	2		25,965.50	51,931			
1	MELSON/SEASH.PK	1.75	Y	Y	Y	YARD	528		8.90	4,699			
100	NONE	1.00											
1	FORCED AIR	1.00											
1	OIL	1.00											
1	NO	0.00											
99	0 FPL	0.00											
4	FULL	4.00											
2	TITLE V	1.00											



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 Postage \$0.00
 Total Postage and Fees \$0.00

Sent to: **TERRY H MINASSIAN** 02/
 8-10 Seashore Park Dr
 Provincetown, Ma 02657

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
149	SEASHORE PINES	1.40	L	L	L	LOWER LEVEL FIN	440	1989	347.79	153,027	622,051		A
9	TH-END	1.10	L	L	L	LIVING AREA	880	1989	463.46	407,844			
15	WOOD SHINGLE	1.00	P	P	P	PARKING SPACE	2		25,965.50	51,931			
1	MELSON/SEASH.PK	1.75	Y	Y	Y	YARD	528		8.90	4,699			
100	NONE	1.00											
1	FORCED AIR	1.00											
1	OIL	1.00											
1	NO	0.00											
99	0 FPL	0.00											
4	FULL	4.00											
2	TITLE V	1.00											

EFF YR/AGE 1989 / 32
 COND 10 10%
 FLINC 0
 ECON 0
 DEPR 10 % GD 90
 RCNLD \$559,800

Key: 1761

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.650

CD	T	ACR/SE/JUN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
L												
E												
G												
A												
L												

CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD
1020	100	CONDOMINIUM		1	1 of 1
PMT NO		PMT DT	TY	DESC	AMOUNT
			42	INSP DATA QU	
			70	RESIDENT	
				INSP	12/07/2016
				BY	02/29/2016
				1st	CAM
				%	0
				%	0
				%	0

TY	QUAL	COND	DM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL					1,011 Acres	FRNT 72	
Nbhd							
Inf1							
Inf2							

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Extra Services & Fees (check box, fee as appropriate)

Return Receipt (hardcopy) \$3.00

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$0.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

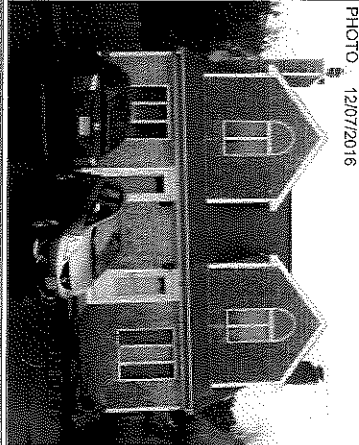
Postage \$10.00

Total Postage and Fees \$14.15

Sent to **Sarah Johnson** \$0.52

Street and Apt. No., or P.O. Box No. **8-111 Seashore Park Dr**

City, State, ZIP+4® **Provincetown, MA 02657**



BLDG COMMENTS

PHOTO: 12/07/2016

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	563,400	494,900
DETACHED	0	0
OTHER	0	0
TOTAL	563,400	494,900

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
149	SEASHORE PINES	1.40	L	L	L	LOWER LEVEL FIN	440	1989	347.79	153,027	626,005	A	
9	TH-END	1.10	L	L	L	LIVING AREA	880	1989	463.46	407,944			
1	WOOD SHINGLE	1.00	D	P	O	DECK/PAT/PORCH	160		6.16	986			
15	MELSON/SEASH.PK	1.75	P	P	O	PARKING SPACE	2		25,965.50	51,931			
1	NONE	1.00	P	O	O	YARD	952		6.16	5,967			
100	FORCED AIR	1.00											
1	OIL	1.00											
1	NO	0.00											
1	1 FPL	\$1,800											
4	FULL	4.00											
2	TITLE V	1.00											
EFF YR/AGE 1989 / 32											COND	10	10 %
											FUNC	0	
											ECON	0	
											DEPR	10	% GD 90
											RCNLD		\$563,400

7021 2020 0002 4426 0652

Key: 1762

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.651

CD	T	ACR/FLN	Nbrd	Int1	Int2	ADJ BASE	SAF	Use	Lr	VC	CREDIT AMT	ADJ VALUE	PARCEL ID	LOCATION	CLASS	CLASS%	CONDOMINIUM	DESCRIPTION	BN ID	BN	CARD
													9-2-3-E-612	8-U12 SEASHORE PARK DR	1020	100					
L													8-2-3-E-612	8-U12 SEASHORE PARK DR							
E													TRANSFEEER HISTORY								
G													VALENTI MARGARET M ET AL					70	RESIDENT		
A													85 EAST INDIA ROW UNIT 39 D					42	INSP DATA QU		
L													VALENTI MARGARET M ET AL								
													SEASHORE PINES CONDOMINIUM								
													08/03/2002	F				11/13/2017	CAM	0	0
													06/25/1993	OS				12/07/2016	CB	0	0
													06/20/1989	CC							
													(C277-48591)								

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
TOTAL			1.011 Acres				
Nbrd							
Int1							
Int2							
ZONING	R3						
FRNT						72	

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	562,900	494,500
DETACHED	0	0
OTHER	0	0
TOTAL	562,900	494,500

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	L	L	L	LOWER LEVEL FIN	440	1989	347.79	153,027
9	TH-END	1.10	NLA	L	L	LIVING AREA	880	1989	463.46	407,844
1	WOOD SHINGLE	1.00	PSP	O	O	PARKING SPACE	2		25,965.50	51,931
15	MELTOW/SEASH.PK	1.75	VRD	O	YARD		952		6.65	6,333
1	NONE	1.00								
100	FORCED AIR	1.00								
1	GAS	1.00								
1	NO	1.00								
1	1 FPL	0.00								
4	FULL	\$1,800								
2	TITLE V	\$1,800								

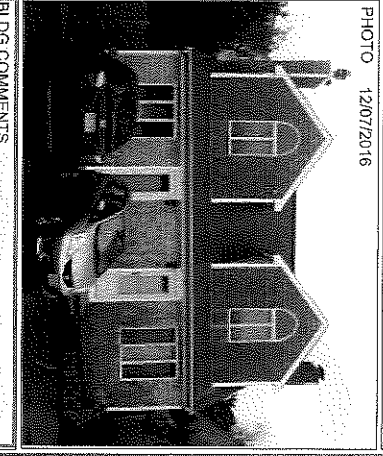


PHOTO 12/07/2016

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Certified Mail Restricted Delivery \$3.10

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$0.00

Sent to Margaret Valenti
 Street and Apt. No., or PO Box No.
 85 East India Row Unit 39D
 City, State ZIP+4®
 Boston, MA 02110

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	L	L	L	LOWER LEVEL FIN	440	1989	347.79	153,027
9	TH-END	1.10	NLA	L	L	LIVING AREA	880	1989	463.46	407,844
1	WOOD SHINGLE	1.00	PSP	O	O	PARKING SPACE	2		25,965.50	51,931
15	MELTOW/SEASH.PK	1.75	VRD	O	YARD		952		6.65	6,333
1	NONE	1.00								
100	FORCED AIR	1.00								
1	GAS	1.00								
1	NO	1.00								
1	1 FPL	0.00								
4	FULL	\$1,800								
2	TITLE V	\$1,800								

TOTAL RCN	625,485
CONDITION ELEM	CD
EXTERIOR	A
INTERIOR	
KITCHEN	
BATHS	
HEAT	
ELECT	
EFF. YR/AGE	1989 / 32
COND	10 10 %
FUNC	0
ECON	0
DEPR	10 % CD
RCNLD	\$562,900

Key: 1764

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEC# #: 1.653

CURRENT OWNER

CAMERON ROBERT F
8-1/4 SEASHORE PARK DR
PROVINCETOWN, MA 02657

PARCEL ID

9-2-3-E-714

LOCATION

8-1/4 SEASHORE PARK DR

CLASS

1020

CLASS%

100

DESCRIPTION

CONDOMINIUM

BN ID

1

BN

1 of 1

CARD

100 100 100 100 100 100 100 100 0 0 0

TRANSFER HISTORY

CAMERON ROBERT F
ESTATE OF BETTY JO PELLEGG
PELLEGRINO BETTY JO

DOS T SALE PRICE BR<G (Cert)
04/12/2018 H 355,000 (277-14 / 134,398)
03/27/2018 H 039,270,2018 (277-14 / 564,343)
10/09/1992 OS 86,000 (277-14 / 564,343)

ADJ BASE SAF Uses LP VC CREDIT AMT ADJ VALUE

PMT NO 1020-8P-2271
PMT DT 02/21/2021
TY 3 RENOVATIONS
DESC 3 RENOVATIONS
AMOUNT 1,500
INSP 06/02/2020
BY NL 100
1st 100
% 100

09/24/2019
05/03/2018
3 RENOVATIONS
70 RESIDENT
AMOUNT 6,000
INSP 04/13/2018
BY NL 100
1st 100
% 100

18-BP-1279
42 INSP DATA QU
AMOUNT 6,000
INSP 12/07/2016
BY CAM 100
1st 100
% 100

TOTAL	1,011 Acres	ZONING	R3	FRNT	72
Nbhd		INTL	0	ADJ PRICE	
Intl		TE		RCNLD	
Intl		RE		RCNLD	

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	510,000	438,600
DETACHED	0	0
OTHER	0	0
TOTAL	510,000	438,600

PHOTO 06/02/2020



BLDG COMMENTS

2/2020	NL
2/2020	NOH
3/2022	CB

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
149	SEASHORE PINES	1.40	NLA	L	LIVING AREA	880	1989	568.94	500.664	566.718			
10	TH-MID	1.10	BMU	N	BASEMENT	440		5.44	2.395				
15	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	2		25,965.50	51,931				
1	NELSONSEASH.PK	1.75	YRD	O	YARD	988		5.44	5,378				
100	100	1.00											
5	ELECTRIC BB	1.00											
1	NO	0.00											
1	1 FPL	\$1,800											
4	FULL	4.00											
2	TITLE V	1.00											

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 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$0.00
 Total Postage and Fees \$4.15

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\$0.00
\$0.00
\$0.00
\$0.00

Sent to: **Robert Cameron** 02/
Street and Apt. No., or PO Box No.: **8-1/4 Seashore Park Dr**
City, State, ZIP+4®: **Provincetown, MA 02657**

Key: 1766

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 am

SEQ #: 1,695

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID		BN		CARD			
HORWITZ TERRY R 8 SEASHORE PARK DR #16 PROVINCETOWN, MA 02657		9-2-3-E-816		8-UT-6 SEASHORE PARK DR		1020		100		CONDOMINIUM		1		1 of 1					
TRANSFER HISTORY		DOS		T		SALE PRICE		BK-Pg (Cent)		DESC		AMOUNT		INSP		BY			
HORWITZ TERRY R HORWITZ TERRY R ET AL DAVIS, HOWARD G III		04/16/2002 07/11/2000 09/24/1997		J CS CS		70,000 195,000 125,000		(277-16 / 868250) (277-16 / 805588) (227-16 / 705028)		42 70		INSP DATA OU RESIDENT		12/07/2016 07/24/2007		CB CAM		0 0 0	

CD	T	ACR/FUN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Use	LPI	VC	CREDIT AMT	ADJ VALUE																	
TOTAL		1.011 Acres		ZONING: R3	FRNT: 72																								
Nbhd				N 09-2-003-E-016																									
Inf1																													
Inf2																													
<table border="1"> <thead> <tr> <th>ASSESSED</th> <th>CURRENT</th> <th>PREVIOUS</th> </tr> </thead> <tbody> <tr> <td>LAND</td> <td>0</td> <td>0</td> </tr> <tr> <td>BUILDING</td> <td>508,600</td> <td>438,800</td> </tr> <tr> <td>DETACHED</td> <td>0</td> <td>0</td> </tr> <tr> <td>OTHER</td> <td>0</td> <td>0</td> </tr> <tr> <td>TOTAL</td> <td>508,600</td> <td>438,800</td> </tr> </tbody> </table>												ASSESSED	CURRENT	PREVIOUS	LAND	0	0	BUILDING	508,600	438,800	DETACHED	0	0	OTHER	0	0	TOTAL	508,600	438,800
ASSESSED	CURRENT	PREVIOUS																											
LAND	0	0																											
BUILDING	508,600	438,800																											
DETACHED	0	0																											
OTHER	0	0																											
TOTAL	508,600	438,800																											

TY	QUAL	COND	DMINUTE	YB	UNITS	ADJ PRICE	RCNLD



CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
149	SEASHORE PINES	1.40	NLA			LIVING AREA	880	1989	568.94	500,664
10	TH-MID	1.10	BMU	N		BASEMENT	440		5.28	2,325
1	WOOD SHINGLE	1.00	PSP	O		PARKING SPACE	2		25,965.50	51,931
15	NELSON/SEASHPK	1.75	YRD	O	YARD		1,075		5.28	5,681
1	NONE	1.00								
100	ELECTRIC BB	1.00								
1	ELECTRIC	1.00								
3	NO	0.00								
1	0 FPL	0.00								
99	FULL	0.00								
4	TITLEV	4.00								
2		1.00								

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Certified Mail Fee \$1.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$0.00

Sent To: **Terry Horwitz**

Street and Apt. No. or PO Box:
8 Seashore Park Dr #16

City, State, ZIP+4®:
Provincetown, MA 021057

TOTAL RCN	565,151
CONDITION ELEM	CD
EXTERIOR	A
INTERIOR	A
KITCHEN	A
BATHS	A
HEAT	A
ELECT	A
EFF YR/RAGE	1989 / 32
COND	10 10%
FUNC	0
ECON	0
DEPR	10 % GD 90
RCNLD	\$508,600

CURRENT OWNER		PARCEL ID		LOCATION	
GALLIANO ANGIO SOLER 100-4228 ALDEN ST PROVINCETOWN, MA 02657		9-2-3-G-B01		101-UB1 RAGE POINT RD	
TRANSFEE HISTORY		DOS		SALE PRICE	
GALLIANO ANGIO SOLER		02/26/2020		100 (211-B1)	
GALLIANO DINO A ET UX		07/19/1989		100 (1391153)	
SEASHORE PARK CONDOMINIUM		07/17/1986		CC (211-B1 / 487723)	
CD	TI	AC/SF/JN	Nbhd	Int1	Int2
TOTAL		11,875 SF		ZONING: R3	
				FRNT: 74	
				FINISHED BASEMENT	
				ADJ PRICE: 74	
				RCNLD	
				ADJ BASE	
				SAF	
				Use	
				Lpi	
				VC	
				CREDIT AMT	
				ADJ VALUE	

ASSESSED		CURRENT		PREVIOUS	
LAND	0	0	0	0	0
BUILDING	494,900	494,900	439,500	0	0
DETACHED	0	0	0	0	0
OTHER	0	0	0	0	0
TOTAL	494,900	494,900	439,500	0	0

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35	LLF	L	LOWER LEVEL FIN	414	1987	346.37	143,397	
9	TH-END	1.10	NLA	L	LIVING AREA	821	1987	461.57	378,947	
1	WOOD SHINGLE	1.00	DPP	O	DECK/PAT/PORCH	200		10.23	2,045	
15	NEILSONSEASH.PK	1.75	PSP	O	PARKING SPACE	1		25,031.00	2,045	
1	NONE	1.00	YRD	O	YARD	200		10.23		
100	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	O FPL	6.00								
4	FULL	1.00								
2	TITLE V	1.00								



BLDG COMMENTS
CENTER BLDG - LEFT TO RIGHT 1ST UNIT

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 Adult Signature Required \$3.00
 Adult Signature Restricted Delivery \$3.00
Postage \$10.63
Total Postage and Fees \$14.78

Sent for Angie Soler Galliano
Street and Apt. No. 900 Box 10
100-4228 Alden St
Provincetown Ma 02657
City State Zip+4

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35	LLF	L	LOWER LEVEL FIN	414	1987	346.37	143,397	
9	TH-END	1.10	NLA	L	LIVING AREA	821	1987	461.57	378,947	
1	WOOD SHINGLE	1.00	DPP	O	DECK/PAT/PORCH	200		10.23	2,045	
15	NEILSONSEASH.PK	1.75	PSP	O	PARKING SPACE	1		25,031.00	2,045	
1	NONE	1.00	YRD	O	YARD	200		10.23		
100	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	O FPL	6.00								
4	FULL	1.00								
2	TITLE V	1.00								

Key: 1768

Town of Provincetown - Fiscal Year 2023

9/20/2022 9:00 pm SEC #: 1.657

CURRENT OWNER	
TUMBARRELO USA M ET AL	
DOMNA M COONS	
101-UB2 RACE POINT RD	
PROVINCETOWN, MA 02657	

PARCEL ID	LOCATION
9-2-3-9-802	101-UB2 RACE POINT RD
TRANSFER HISTORY	
TUMBARRELO USA M ET AL	10/12/2017 QS
VALENTINO SCOTT ANTHONY	12/18/2012 QS
COSTABILE VINCENT ET UX	02/05/2010 S

CLASS	CLASS%	DESCRIPTION	AMOUNT	INSP	BN	CARD
1020	100	CONDOMINIUM			1	1 of 1
PMT NO	PMT DT	TY	DESC			
13-BP-135	05/02/2013	43	INSP SALES Q			
	12/18/2012	70	RESIDENT			
		3	RENOVATIONS			
		12	MEMO			
		42	INSP DATA QU			
				1,690		
					07/27/2010	FP

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Certified Mail Restricted Delivery \$11.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$4.15

Sent To: Nancy Smith, Elizabeth Heley
 Street and Apt. No. or PO Box No. Race Point Rd
 101-UB2
 City, State ZIP+4® Provincetown, Ma 02657

PS Form 3800, April 2015 PSN 7530-02-000-902 See Reverse for Instructions

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Return Receipt (hardcopy) \$3.10

Return Receipt (electronic) \$0.00

Certified Mail Restricted Delivery \$11.00

Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

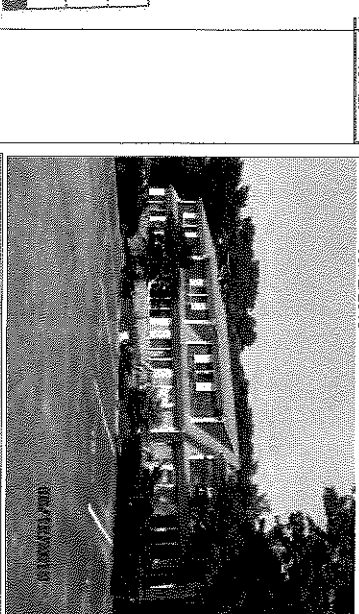
Postage \$0.00

Total Postage and Fees \$4.15

Sent To: Tumbarello USA M
 Street and Apt. No. or PO Box No. Race Point Rd
 101-UB2
 City, State ZIP+4® Provincetown, Ma 02657

PS Form 3800, April 2015 PSN 7530-02-000-902 See Reverse for Instructions

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	442,200	386,000
DETACHED	0	0
OTHER	0	0
TOTAL	442,200	386,000



BLDG COMMENTS
 CENTER BLDG - LEFT-TO-RIGHT- 2ND UNIT

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35	N/A	L	LIVING AREA	760	1987	590.98	449,144	
10	TH-MID	1.10	BMF	N	BSMT FIN-SEP	375		43.65	16,367	
1	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	1		25,031.00	25,031	
15	NELSON/SEASH.PK	1.75	YRD	O	YARD	200		8.54	1,708	
100	NONE	1.00								
5	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NONE	0.00								
99	0 FPL	~0.00								
4	FULL	1.00								
2	TITLE V	1.00								

TOTAL RCN	CONDITION ELEM	CD
496,800	EXTERIOR	A
	INTERIOR	A
	KITCHEN	A
	BATHS	A
	HEAT	A
	ELECT	A

EFF. YR/AGE	COND	FUNG	ECON	DEPR	%GD
1987 / 34	11	11	%		
	0				
					89

PS Form 3800, April 2015 PSN 7530-02-000-902 See Reverse for Instructions

Key: 1769 Town of Provincetown - Fiscal Year 2023 9/20/2022 9:00 am SEQ #: 1.658

CURRENT OWNER		PARCEL ID		LOCATION	
MANNING JAMES T	10-UB3 RACE POINT RD	9-2-3-G-B03	10-UB3 RACE POINT RD		
PROVINCETOWN, MA 02657					
TRANSFER HISTORY		DOS	TS	SALE PRICE	BK/PG (Cent)
		05/06/2005	OS	310,000	(211-B3
		03/22/1988	OS	100,800	(1000993)
		07/17/1986	CC		(211-B3 / 453914)
ESTATE OF ROBIN WATSON					
SEASHORE PARK CONDOMINIUM					
CD	T	AC/SFUN	Nbrd	Int1	Int2
ADJ BASE		SAF	Use	Lpl	VC
CREDIT AMT		ADJ VALUE			
TOTAL		11,875 SF	ZONING	R3	FRT
					74
Nbrd		ZONING		R3	FRT
Int1					
Int2					
TOTAL		11,875 SF	ZONING	R3	FRT
					74

ASSESSED		CURRENT		PREVIOUS	
LAND	0	0	0	0	0
BUILDING	430,500	430,500	375,600	0	0
DETACHED	0	0	0	0	0
OTHER	0	0	0	0	0
TOTAL	430,500	430,500	375,600	0	0

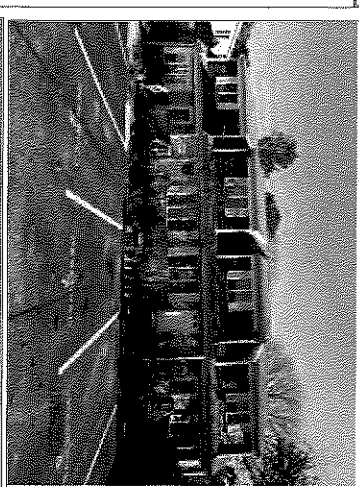


PHOTO 11/26/2019
BLDG COMMENTS
CENTER BLDG - LEFT-TO RIGHT- 3RD UNIT

CD	DESCRIPTION	ADJ	S	BAT	T	L	N	P	O	YRD	YARD	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35	NLA			LIVING AREA						760	1987	590.98	449,144
10	TH-MID	1.10	BMU			BASEMENT						391		8.42	3,294
15	WOOD SHINGLE	1.00	PSP			PARKING SPACE						1		25,031.00	25,031
15	NEILSON/SEASH.PK	1.75										200		8.43	1,585
1	NONE	1.00													
100	100	1.00													
5	ELECTRIC BB	1.00													
3	ELECTRIC	1.00													
1	NO	0.00													
99	0 FPL	9.00													
4	FULL	1.00													
2	TITLE V	1.00													

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Return Receipt (electronic) \$2.80

Certified Mail Restricted Delivery \$16.00

Adult Signature Required \$1.00

Adult Signature Restricted Delivery \$1.00

Postage \$0.63

Total Postage and Fees \$1.78

Sent to: James T Manning

Street and Apt: 10-UB3 Race Point Rd

City: Provincetown, Ma 02657

Postmark Here

RCNLD 483,704

CONDITION ELEM CD

EXTERIOR A

INTERIOR A

KITCHEN A

BATHS A

HEAT A

ELECT A

EFF. YR/AGE 1987/34

COND 11 11 %

FUNC 0

ECON 0

DEPR 11 % GD 89

RCNLD \$430,500

Key: 1770

Town of Provincetown - Fiscal Year 2023

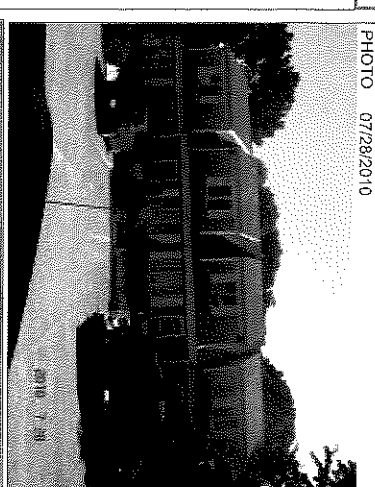
9/20/2022

9:00 pm

SEQ #: 1 659

CURRENT OWNER		PARCEL ID		LOCATION	
GOLD MYRA PO BOX 992 PROVINCETOWN, MA 02657		9-2-3-G-B04		101-1B4 RACE POINT RD	
TRANSFER HISTORY		DOS		T	
GOLD MYRA		01/14/2004		F	
GOLD MYRA L ET AL		11/13/1996		QS	
SEASHORE PARK CONDOMINIUM		07/17/1996		CC	
CD	T	ACIS/FUN	Nbrhd	Int1	Int2
ADJ BASE		SAF	Use	Lpl	VC
CREDIT AMT		ADJ VALUE			

TOTAL	11,875 SF	ZONING	R3	FRNT	74
N FINISHED BASEMENT					
Nbrhd		Int1		Int2	
Int1					
Int2					

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
PHOTO 07/28/2010							
							
ASSESSED CURRENT PREVIOUS LAND BUILDING DETACHED OTHER TOTAL 0 493,800 0 0 0 493,800 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 TOTAL 493,800 438,500							

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PROVINCETOWN, MA 02657
 Certified Mail # 493,800
 Extra Services & Fees (check box and fee as appropriate)
 Return Receipt (hardcopy) \$1.50
 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$18.00
 Adult Signature Required \$0.00
 Adult Signature Restricted Delivery \$0.00
 Postage \$40.63
 Total Postage and Fees \$84.26
 Date of Mailing 02/06/2023

Sent to *MYRA GOLD*
 Street and Apt. No. *PO Box 992*
 City, State, ZIP+4[®] *Provincetown, MA 02657*

BLDG COMMENTS
 CENTER BLDG - LEFT-TO RIGHT- 4TH UNIT

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION
145	SEASHORE PARK	1.35	LIF	L	L	LOWER LEVEL FIN
9	TH-END	1.10	NLA	L	L	LIVING AREA
15	WOOD SHINGLE	1.00	PSP	O	O	PARKING SPACE
15	NELSON/SEASH.PK	1.75	YRD	O	YARD	
100	NONE	1.00				
100	NONE	1.00				
5	ELECTRIC BB	1.00				
3	ELECTRIC	1.00				
1	NO	0.00				
99	0 FPL	9.00				
4	FULL	1.00				
2	TITLE V	1.00				

CLASS	CLASS%	DESCRIPTION	AMOUNT	INSP	BY	1st	%
1020	100	CONDOMINIUM					
PMT NO		TV					
42		INSP DATA QU		03/03/2021	NL	100	100
42		INSP DATA QU		07/11/2014	CB	0	0
70		RESIDENT		07/23/2007	RF	0	0

CD	DESCRIPTION	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
145	SEASHORE PARK	346.37	143,397	554,805		A
9	TH-END	461.57	378,947			A
15	WOOD SHINGLE	25,031.00	25,031			A
15	NELSON/SEASH.PK	14.40	2,880			A
100	NONE					A
100	NONE					A
5	ELECTRIC BB					A
3	ELECTRIC					A
1	NO					A
99	0 FPL					A
4	FULL					A
2	TITLE V					A
EFFECTIVE DATE		1987/34				
COND		11 11 %				
FUNDC		0				
ECON		0				
DEPR		11 % GD		89		
RCNLD				\$493,800		

7021 2720 0002 4226 4155

PS Form 3800, April 2015 PSN 5902-7000-9017 See Reverse for Instructions

Key: 1771

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1,660

CURRENT OWNER

PALMERINO DONALD ET VIR
 C/O MCGUIRE LEONARD DANIEL ET
 380 STAFFORD ST
 CHARLTON, MA 01507

PARCEL ID

9-2-34-A01
 TRANSFER HISTORY
 MCGUIRE LEONARD DANIEL ET
 PALMERINO DONALD ET VIR
 PALMERINO DONALD

LOCATION

105-10A1 RACE POINT RD
 DOS T SALE PRICE BK/Pg (Cert)
 05/12/2022 QS 639,000 (C21-1-A1/14589)
 09/15/2015 F 17)
 08/21/2006 F 191,625 (C21-1-A1/12780)

CLASS CLASS%

CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD			
1020	100	CONDOMINIUM	1	1	1 of 1			
PMT NO	PMT DT	TY	DESC	AMOUNT	INSP	BY	1st	%
					05/16/2022	CAM	0	0
					11/26/2019	NL	0	0
					08/07/2007	FP	0	0

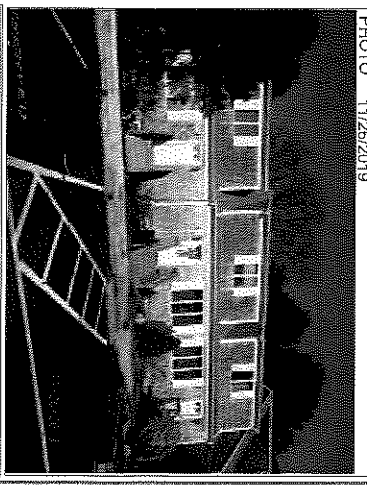
CD	T	AC/SF/LIN	Nbrhd	Inft1	Inft2	ADJ BASE	SAF	Use	Lot	VC	CREDIT AMT	ADJ VALUE

TOTAL	6,560 SF	ZONING	R3	FRNT	50
Nbrhd					
Inft1					
Inft2					

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	514,100	451,500
DETACHED	0	0
OTHER	0	0
TOTAL	514,100	451,500

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD



CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35	LFP	L	LOWER LEVEL FIN	427	1985	333.89	142,569	
9	THE END	1.10	NLA	L	LIVING AREA	903	1985	444.93	407,771	
1	WOOD SHINGLE	1.00	PSP	O	PARKING AREA	1		25,031.00	25,031	
15	NELSON/SEASH.PK	1.75	YRD	O	YARD	336		11,115	3,745	
1	NONE	1.00								
100	ELECTRIC BB	1.00								
1	ELECTRIC	1.00								
99	NO	0.00								
4	FULL	0.00								
2	TITLE V	1.00								

BLDG COMMENTS
 LEFT BLDG - LEFT TO RIGHT-1ST UNIT

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 Return Receipt (hardcopy) \$0.10
 Return Receipt (electronic) \$0.10
 Certified Mail Restricted Delivery \$1.00
 Adult Signature Required \$1.00
 Adult Signature Restricted Delivery \$1.00
 Postage \$0.63
 Total Postage and Fees \$4.78
 Date: 02/16/2023

Sent to: Linda Palmemo
 Street and Apt. No.: 380 Stafford St
 City, State, Zip: Charlton Ma 01507

TOTAL RCN	577,686
CONDITION ELEM	CD
EXTERIOR	A
INTERIOR	A
KITCHEN	A
BATHS	A
HEAT	A
ELECT	A
EFF YRAGE	1985 / 36
COND	11 11 %
FUNC	0
ECON	0
DEPR	11 % GD 89
RCNLD	\$514,100

CURRENT OWNER		PARCEL ID		LOCATION								
JOHNSON KATHRYN DIANE ET UX		9-2-3H-A02		105-UA2 RAGE POINT RD								
MAN GINWATER		TRANSFER HISTORY		100/04/2018 OS 389,000 (211-A-2)								
105-UA2 RAGE POINT RD		JOHNSON KATHRYN DIANE ET		08/30/2001 OS 230,000 (1355868)								
PROVINCETOWN, MA 02557		KENNEDY EILEEN		07/07/2000 OS 188,000 (211-A-2 / 842352)								
		ANDERSON ELAINE J ET AL										
CD	TI	ACIS/FUN	Nbrhd	Int1	Int2	ADJ BASE	SAF	Use	Lp	VC	CREDIT AMT	ADJ VALUE
TOTAL		6,580 SF		ZONING: R3		FRNT: 50		FINISHED BASEMENT				

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	497,600	429,500
DETACHED	0	0
OTHER	0	0
TOTAL	497,600	429,500

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCN/ILD
				2019	NL		
				2019	NOH		
				2019	CAM		

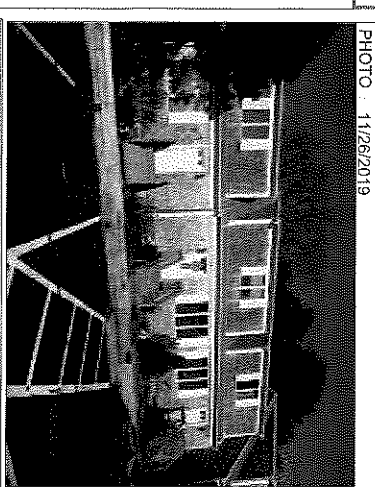


PHOTO: 11/26/2019
BLDG COMMENTS: LEFT BLDG - LEFT-TO RIGHT-2ND UNIT

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 Adult Signature Required \$1.00
 Adult Signature Restricted Delivery \$1.00
 Postage: \$0.63
 Total Postage and Fees: \$1.78
 Date: 02/01/2023

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35	L	L	L	LOWER LEVEL FIN	280	1985	355.62	99.573
10	TH-MID	1.10	N/A	L	L	LIVING AREA	895	1985	473.89	424.134
15	WOOD SHINGLE	1.00	B/MU	N	L	BASEMENT	160		11.41	1,825
15	NELSON/SEASH,PK	1.75	PSP	O	O	PARKING SPACE	1		25,031.00	25,031
1	NONE	1.00	YRD	O	YARD		160		11.41	1,825
100	100	1.00								
5	ELECTRIC BR	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	0 FPL	0.00								
4	FULL	0.00								
2	TITLE V	1.00								

Sent To: Katherine Diane Johnson
 Street and Apt. No. or PO Box No.: 105 - UA2 RAGE POINT RD
 Provincetown, MA 02557
 City, State, Zip+4: Provincetown, MA 02557

TOTAL RCN	559,138
CONDITION/ELEM	CD
EXTERIOR	A
INTERIOR	A
KITCHEN	A
BATHS	A
HEAT	A
ELECT	A
EFF. YR/AGE	1985 / 36
COND	11 11 %
FUNG	0
ECON	0
DEPR	11 % GD 89
RCNLD	\$497,600

Key: 1773
 Town of Provincetown - Fiscal Year 2023
 9/20/2022 9:00 pm SEQ #: 1.662

CURRENT OWNER		PARCEL ID		LOCATION	
CATANESE KATHRYN L 105-UA3 RACE POINT RD PROVINCETOWN, MA 02657		9-23-H-A03		105-UA3 RACE POINT RD	
TRANSFER HISTORY		DOS		T	
CATANESE KATHRYN L		04/27/2016		F	
CATANESE KATHRYN L ET UX		04/30/2009		OS	
TURKOWITZ BARRY SCOTT		05/23/2003		OS	
CD		AC/SE/FUN		Nbrhd	
Int1		Int2		ADJ BASE	
Int2		Use		SAF	
L		Lnd		VC	
A		CREDIT AMT		ADJ VALUE	
N		CURRENT		PREVIOUS	
D		TOTAL		TOTAL	

TY	QUAL	COND	DIV/NOTE	YB	UNITS	ADJ PRICE	RCN/ID
TOTAL	6,580 SF			R3	FRNT	50	
Nbrhd							
Int1							
Int2							
ZONING: R3 FINISHED BASEMENT							
ASSESSED							
LAND						0	0
BUILDING						512,400	442,000
DETACHED						0	0
OTHER						0	0
TOTAL						512,400	442,000

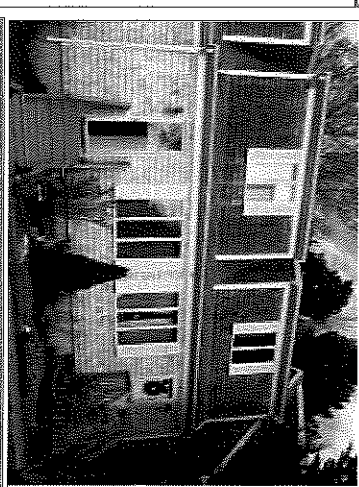


PHOTO - 12/14/2016
 LEFT BLDG - LEFT-TO-RIGHT-3RD UNIT

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35				LOWER LEVEL FIN	440	1985	332.96	146,502
10	TH-MID	1.10				LIVING AREA	895	1985	443.70	397,109
15	WOOD SHINGLE	1.00				PSP	1		25,031.00	25,031
15	NELSON/SEASHPK	1.75				PARKING SPACE	160		16.09	2,574
1	NONE	1.00				YARD				
100	100	1.00								
5	ELECTRIC 88	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	O FPL	0.00								
4	FULL	1.00								
2	TITLE V	1.00								

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
2016	CB									
2016	NOH									
2017	RF									

CD	CONDITION ELEM	CD	EFF YR/AGE	% GD
	EXTERIOR	A	1985 / 36	11 11 %
	INTERIOR	A		0
	KITCHEN	A		0
	BATHS	A		0
	HEAT	A		0
	ELECT	A		0
TOTAL RCN				575,766
COND				11 11 %
FUNC				0
ECON				0
DEPR				11 % GD
RCN/ID				89
TOTAL				\$512,400

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 Adult Signature Required: \$1.00
 Adult Signature Restricted Delivery: \$0.00

Postage: \$11.53
 Total Postage and Fees: \$11.53

Postmark: Provincetown, MA 02657

Sender: KATHRYN L CATANESE
 Street and Apt. No. or P.O. Box No.: 105-UA3 RACE POINT RD.
 City, State ZIP+4®: Provincetown MA 02657

PS Form 3800, April 2015 PSN 7530-01-000-9047 See Reverse for Instructions

7021 2720 0002 4426 4254

7021 1220 0002 4426 4063

Key: 1775

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.664

CURRENT OWNER		ROBINSON INVESTMENT TRUST		PARCEL ID: 9-2-34		LOCATION: 107 RACE POINT RD	
DANIELLE ROBINSON TTEE		2007 N SEMINARY AVE #B		TRANSFER HISTORY		DOS: 08/08/2005 F	
CHICAGO, IL 60614-4109		ROBINSON INVESTMENT TRUST		BOARD OF SELECTMEN		11/30/1984 N	
CD		T AC/SF/UN		Nbhhd		NN	
300		A		0.001		1.00	
ADJ BASE		SAF		Use		VC	
40,770		1,001		100		1.00	
ADJ VALUE		L		Rd1		0.45	
40							
CREDIT AMT		ADJ VALUE		40			
0							

CLASS	CLASS%	UNDEV LAND	DESCRIPTION	AMOUNT	INSP	BY	1st	%
1320	100							
PMT NO								

CD	T	AC/SF/UN	Nbhhd	NN	1.00	100	1.00	1.00	ADJ BASE	SAF	Use	VC	CREDIT AMT	ADJ VALUE
300	A	0.001	NN	1.00	100	1.00	1.00	1.00	40,770	1,001	100	1.00	Rd1	0.45
TOTAL														
61 SF														
ZONING: R3														
FRNT: 6														
ASSESSED														
CURRENT														
PREVIOUS														
LAND														
BUILDING														
DETACHED														
OTHER														
TOTAL														

TY	QUAL	COND	DIW/NOTE	YB	UNITS	ADJ PRICE	RCNCLD	PHOTO	BLDG COMMENTS
Nbhhd									
100									
100									
100									

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 Certified Mail Restricted Delivery: \$16.00
 Adult Signature Required: \$16.00
 Adult Signature Restricted Delivery: \$16.00
 Postage: \$0.63
 Total Postage and Fees: \$22.18 / 2023

Official Use
 Robinson Investment Trust / Danielle R
 2007 N Seminary Ave #B
 Chicago, IL 60614-4019

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN

TOTAL RCN	
CONDITION ELEM	
CD	
EFF. YR/AGE	
COND	
FUNC	
ECON	
DEPR	
RCNCLD	
% GD	

Key: 1777

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.666

CD	T	AC/SF/UN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lp	VC	CREDIT AMT	ADJ VALUE
<p>SEASHORE PARK UNIT C-2 TR EDWARD J RAPAZZINI TR 103 GERALD RD MILTON, MA 02186</p>												
<p>PARCEL ID: 9-23-JC92 LOCATION: 95-UC2 RACE POINT RD</p>												
<p>TRANSFER HISTORY SEASHORE PARK UNIT C-2 TR WHITLOCK CHARLES J ET AL SEASHORE PARK CONDOMINIUM</p>												
<p>DOCS 07/02/1998 F 06/26/1987 GS 07/17/1986 CC</p>												
<p>SALE PRICE: 89,900 BK/Pg (Gert): 1 (211-C2 / 73185) (211-C2 / 43331) (C211-401312)</p>												
<p>CLASS: 1020 CLASS%: 100 CONDOMINIUM PMT NO: 100 PMT DT: TV DESC: 42 INSP DATA QU 70 RESIDENT 42 INSP DATA QU</p>												
<p>AMOUNT: INSP 11/26/2009 0 02/04/2009 0 08/09/2007 0</p>												
<p>BNID: 1 BN: 1 of 1 BY: 1st % CAM 0 FP 0</p>												

TOTAL	6,580 SF	ZONING	R3	FRNT	50
Nbhd					
Int1					
Int2					

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD



PHOTO 11/27/2019
 BLDG COMMENTS
 RIGHT BLDG - LEFT TO RIGHT- 2ND UNIT

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 Certified Mail Restricted Delivery \$16.00
 Adult Signature Required \$16.00
 Adult Signature Restricted Delivery \$16.00
 Postage: \$0.63
 Total Postage and Fees: \$20.63

Postmark Here

Send to: *Seashore Park Unit C-2 TR / Edward J RapaZZini*
 Street and Apt. No., or PO Box No.: *103 Gerald Dr.*
 City, State, ZIP+4: *Milton, Ma 02186*

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
145	SEASHORE PARK	1.35	NLA	L	LIVING AREA	883	1988	547.84	483,745	
10	TH-MID	1.10	BMU	N	BASEMENT	440		8.37	3,681	
15	WOOD SHINGLE	1.00	PSP	O	PARKING SPACE	1		25,031.00	25,031	
15	NELSON/SEASH.PK	1.75	YRD	O	YARD	160		8.37	1,339	
1	NONE	1.00								
100	100	1.00								
5	ELECTRIC BB	1.00								
3	ELECTRIC	1.00								
1	NO	0.00								
99	O PPL	0.00								
4	FULL	1.00								
2	TITLE V	1.00								

TOTAL RCN	518,346	CONDITION ELEM	CD
EXTERIOR			A
INTERIOR			
KITCHEN			
BATHS			
HEAT			
ELECT			

EFF. YR/AGE	1988 / 33	COND	10	10 %	FUNC	0	ECON	0	DEPR	10	% GD	90
RCNLD												

\$466,500

Key: 1779

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 am

SEQ #: 1,668

CURRENT OWNER

PARCEL ID

LOCATION

CLASS

CLASS%

DESCRIPTION

BN ID

BN

CARD

BERRY WILLIAM F ET AL
 BRUN A FITZPATRICK
 95 JUC4 RACE POINT RD
 PROVINCETOWN, MA 02657

9-23-JUC4

95 JUC4 RACE POINT RD

CLASS	CLASS%	DESCRIPTION	AMOUNT	BN ID	BN	CARD
1020	100	CONDOMINIUM			1	1 of 1
		43 INSP SALES Q				
		70 RESIDENT				
		42 INSP DATA QU				
		43 INSP SALES Q				

TRANSFEEER HISTORY
 BERRY WILLIAM F ET AL
 MASSARONI ANTHONY ET AL
 VOGT KARLA M

DOS T SALE PRICE BK P/G (Cent)
 03/10/2017 CS 382,500 (211-C4)
 05/22/2012 CS 325,000 (1316592)
 10/15/1999 CS 180,000 (211-C4)

PMT NO	PMT DT	TV	DESC	AMOUNT	INSP	BY	1st	%

CD	T	AC/SE/UN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE

ASSESSED	CURRENT	PREVIOUS
LAND	0	0
BUILDING	518,300	455,400
DETACHED	0	0
OTHER	0	0
TOTAL	518,300	455,400

PHOTO 06/12/2018



BLDG COMMENTS
 RIGHT BLDG - LEFT-TO-RIGHT-4TH UNIT

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 Return Receipt (electronic) \$0.00
 Certified Mail Restricted Delivery \$18.00
 Adult Signature Required \$18.00
 Adult Signature Restricted Delivery \$
 Postage \$1.63
 Total Postage and Fees \$17.13

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION
145	SEASHORE PARK	1.35				
9	TH-END	1.10	LLF	L	LOWER LEVEL FIN	
1	WOOD SHINGLE	1.00	NLA	L	LIVING AREA	
15	NEILSON/SEASH.PK	1.75	DPP	O	DECK/PAT/PORCH	
1	NONE	1.00	PSP	O	PARKING SPACE	
100	100	1.00	YRD	O	YARD	
5	ELECTRIC BB	1.00				
3	ELECTRIC	1.00				
1	NO	0.00				
99	0 FPL	6.00				
4	FULL	1.00				
2	TITLE V	1.00				

UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	CONDITION ELEM	CD
435	1988	336.20	146,246	575,855	EXTERIOR	A
875	1988	448.01	392,009		INTERIOR	A
241		7.23	1,742		KITCHEN	A
1		25,031.00	25,031		BATHS	
564		7.23	4,077		BATHS	
					HEAT	
					ELECT	

Sent To
 William F Berry
 95 JUC4 RACE POINT RD
 PROVINCETOWN MA 02657

Street and Zip, PO Box No
 City, State, Zip
 PS Form 3800 April 2015 PSN 7530-02-000-9007

EFF YR/AGE	COND	FUNC	ECON	DEPR	RCNLD
1988 / 33	10	10 %	0	10	90
					\$518,300

7021 2720 0002 4426 4100

Key: 1819

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEQ #: 1.702

CURRENT OWNER		PARCEL ID		LOCATION	
TOWN OF PROVINCETOWN BOARD OF SELECTMEN 260 COMMERCIAL ST PROVINCETOWN, MA 02657		9-2-24-0		90 RACE POINT RD	
TOWN OF PROVINCETOWN		TRANSFER HISTORY		DOS	
				08/02/1999 E	
				BK-PG (Cert)	
				12449-25	

CD	IT	ACR/FUN	Nbhd	Inf1	Inf2	ADJ BASE	SAF	Use	Lri	VC	CREDIT AMT	ADJ VALUE
100	A	0.184	NN	1.00	1.00	1,155,870	1.00	100	1.00	R01	0.45	212,660
300	A	5.889	NN	1.00	1.00	40,770	0.11	100	1.00	R01	0.45	25,230
TOTAL 6.073 Acres FRNT 0												

CLASS	CLASS%	DESCRIPTION	AMOUNT	BN ID	BN	CARD
9310	100	IMP SELECTIVITY CNCL				1 of 1
21-BP-66	03/06/2021	3 RENOVATIONS	112,000	01/25/2022	CB	100
20-BP-2154	10/07/2020	1 NEW CONST	1,200,000	01/25/2022	CB	100
20-BP-2028	07/10/2020	1 NEW CONST	428,000	01/25/2022	CB	100
20-BP-1112	05/01/2020	1 NEW CONST	1,439,556	01/25/2022	CB	100
01-B-361	12/05/2001	2 ADDITIONS	54,000		CB	100
TOTAL			3,064,000			

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO
UTW	A	1.00	A	0.70	1975	27.90	6,800	
DGF	A	1.00	A	0.70	1980	30.26	33,900	
SHF	A	1.00	A	0.70	1975	21.73	1,200	
SHF	A	1.00	A	0.70	1975	21.73	1,200	
TOTAL 321,900								306,400

ASSESSED	CURRENT	PREVIOUS
LAND	237,900	222,400
BUILDING	0	0
DETACHED	84,000	84,000
OTHER	0	0
TOTAL	321,900	306,400

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 Adult Signature Required \$1.00
 Adult Signature Restricted Delivery \$1.00
 Postage \$0.63
 Total Postage and Fees \$4.78

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 Board of Provincetown
 260 Commercial St
 Provincetown, MA 02657

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN

TOTAL RCN
 CONDITION ELEM
 COND
 FUNC
 ECON
 DEPR
 RCNLD

Key: 11021

Town of Provincetown - Fiscal Year 2023

9/20/2022 9:00 am SEQ #: 5,023

CURRENT OWNER		PARCEL ID		LOCATION	
TOWN OF PROVINCETOWN		9-224-1-SLR		90 RACE POINT RD	
BOARD OF SELECTMEN		TRANSFER HISTORY		DOS	
C/O ASSESSOR'S OFFICE		TOWN OF PROVINCETOWN		BK-PG (Cart)	
280 COMMERCIAL ST		PROVINCETOWN, MA 02657		N/A-N/A	

CLASS	CLASS%	DESCRIPTION	BNID	BN	CARD
4500	100	PV SOLAR			1 of 1
PMT NO	FMT DT	TY	DESC	AMOUNT	INSP
SS2017		1	NEW CONST		
		9	SPLITS/SUBSL		

CD	TY	ACRSE/FUN	Nbhd	Int1	Int2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
L	100	A	1.000	CIM	1.00	SV/F	0.03	100	1.00	C05		21,710
A							86,463	0.25	100			
TOTAL												

ASSESSED	CURRENT	PREVIOUS
LAND	21,700	20,500
BUILDING	0	0
DETACHED	220,400	200,400
OTHER	0	0
TOTAL	242,100	220,900

TY	QUAL	COND	DM/NOTE	YB	UNITS	ADJ PRICE	RCNLD
SV	A	1.00	SV	1.00	.153	MW DC P	2013
							200,400
							1.10
							220,400

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN

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Adult Signature Required \$0.00

Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$0.00

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 City, State, ZIP+4® *Provincetown, MA 02657*

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN

TOTAL RCN

CONDITION ELEM

CD

EFF YRAGE

COND FUNC ECON DEPR

%GD

Key: 1449

Town of Provincetown - Fiscal Year 2023

9/20/2022

9:00 pm

SEC #: 1.351

CURRENT OWNER		PARCEL ID		LOCATION	
PROVINCETOWN CONSERVATION TR		7-3-24-D		179 ROUTE 6	
PO BOX 443 BARNSTABLE, MA 02630		TRANSFER HISTORY		DOS	
		PROVINCETOWN CONSERVATION		03/08/2010 F	
		ORENDA WILDLIFE LAND TRUS		03/08/2010 F	
		PROVINCETOWN CONSERVATION		01/21/2000 K	
		BK-PG (Left)		1 24408-16	
		SALE PRICE		1 24408-12	
		ADJ VALUE		12793.263	

CD	T	ACR/PLN	Nbrd	Inft1	Inft2	ADJ BASE	SAF	Use	Lbl	VC	CREDIT AMT	ADJ VALUE
300	A	0.184	NW	1.00	1.00	126,840	0.04	100	1.00	RO1	1.40	1,040
300	A	21.864	NW	1.00	1.00	126,840	0.04	100	1.00	RO1	1.40	123,690
TOTAL												1,040

TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	ASSESSED	CURRENT	PREVIOUS
ZONING: R1									LAND	124,700	116,600
FRNT: 0									BUILDING	0	0
N ORENDA WILDLIFE LAND TRUST INC									DETACHED	0	0
Inft1: 100									OTHER	0	0
Inft2: 100									TOTAL	124,700	116,600

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Adult Signature Restricted Delivery \$0.00

Postage \$0.00

Total Postage and Fees \$0.00

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City, State, ZIP+4: Barnstable, MA 02630

CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN

TOTAL RCN

CONDITION ELEM

EFF YR/AGE

COND

FLUNC

ECON

DEPR

RCNLD

%GD

Stormwater Management Report

For

Cape Cod National Seashore Bike Trail

at

Race Point Road & Route 6/Province Lands Road
Provincetown, MA

February 10, 2023

Prepared for:

Henry General Contractors, Inc.

Attn: Jason Lee

57 Observer Street

Springfield, MA 01104

Prepared by:



COASTAL ENGINEERING CO., INC.

260 Cranberry Highway

Orleans, MA

Table of Contents

1.	Stormwater Management System Description	2
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Appendices

Appendix A - MA DEP Checklist for Stormwater Report

Appendix B - Stormwater Management Log

Appendix C - Soils Map and FEMA Firmette

1. Stormwater Management System Description

1.1 Project Location

The subject project consists of two sites located within the Cape Cod National Seashore (Assessors Map 1-0, Parcel 1) in Provincetown, Massachusetts. The Beech Forest Trail Spur portion is located along Race Point Road; the Route 6 Trail Connector portion is located along Route 6 and Province Lands Road.

The Beech Forest Trail Spur project is bounded by the Beech Forest Parking lot to the north; Race Point Road to the east; a parking area on land owned by 74 Race Point Road to the southeast; property owned by the Town of Provincetown for their DPW and transfer station to the south; and undeveloped land to the west.

The Route 6 Trail Connector project is bounded by undeveloped land to the north and east; Route 6 to the south; and Province Lands Road to the West

1.2 Project Description

The Beech Forest Trail Spur portion is a replacement and widening of an existing bike trail through the Cape Cod National Seashore between the Beech Forest Parking Lot and the entrance to the Town of Provincetown Transfer Station entrance road.

The Route 6 Trail Connector portion consists of the removal of an abandoned section of Route 6, followed by the construction of a bike path in this area from a location at the current Route 6 continuing through land owned by the Cape Cod National Seashore along Province Lands Road to the Herring Cove Beach parking lot.

1.3 Design Criteria and Analysis

The proposed stormwater systems were designed to control existing road runoff and improve the existing drainage spillways along Province Lands Road.

1.4 Pre-Development Conditions

The Beech Forest Trail Spur portion is currently an existing 8' wide bike path through a wooded area with a portion along a wetland and within the buffer zone.

The Route 6 Trail Connector portion is currently an abandoned section of Route 6 with several existing drainage structures to untreated outflow and a vegetated area consisting of various trees and beach grass along Province Lands Road. The vegetated area has 3 drainage spillways on Province Lands Road that freely discharge into the vegetation.

1.5 Post-Development Conditions

Stormwater Management Report

The Beech Forest Trail Spur portion will consist of a replacement and widening of the existing paved bike path to 10' wide. Two access points and a horse trail crossing will have a paved apron added to connect to the existing natural pathways.

The Route 6 Trail Connector portion will consist of the removal of the abandoned Route 6 pavement, while the contractor will determine at the time of construction if the existing drainage structures are to be removed based on a condition assessment. A new 10' wide, approximately 1,780 ft. long paved bike trail will be added in this area and continue along Route 6 following the curve onto Province Lands Road, ending at a location just past the first entrance to the Herring Cove Beach parking lot. The edge of the new bike path will be 4' off the edge of pavement along Province Lands Road. A portion of the path will be constructed in the buffer zone of a wetland. Two of the existing drainage spillways will be replaced with two 4'x10' drainage swales on either side of the trail to attenuate and disperse runoff that currently simply spills off the roadway. The third existing drainage spillway will be replaced with a drainage catch basin that discharges through a concrete headwall and onto rip rap.

1.6 Erosion and Sediment Control and Operations and Maintenance

Temporary siltation barriers shall be installed prior to the start of work to protect the critical resources during construction. Disturbed areas shall be stabilized and revegetated as soon as practicable to minimize erosion and transportation of sediment. Biodegradable jute netting shall be installed for stabilization of revegetated areas.

2. DEP Stormwater Management Standards

Below are the descriptions of the extent to which the DEP Stormwater Management Standards have been met.

Standard 1: No New Untreated Discharges

This is a redevelopment project and/or there are no new untreated discharges proposed for this project.

Standard 2: Peak Rate Control and Flood Prevention

Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.

Standard 3: Recharge to Groundwater

N/A

Standard 4: Water Quality

There are good housekeeping practices proposed such as routine maintenance of the bike trail surface.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

There are no proposed high potential pollutant loads.

Standard 6: Critical Areas

Existing road runoff is being attenuated with stone lined drainage swales to intercept and disperse runoff currently discharged at the existing spillway locations.

Standard 7: Redevelopments and Other Projects Subject to the standards only to the maximum extent practicable

Project is a proposed bike path and the post-development of the site will have no change or adverse impact on conditions from the pre-development conditions.

Stormwater Management Report

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

Sedimentation barriers are proposed along the project and act as a limit of work. The contractor is responsible for compliance during construction. The proposed inspection and maintenance schedule during construction will be daily and conducted by the contractor. Attached is a typical inspection and maintenance log form.

Standard 9: Operation and Maintenance Plan

A schedule of inspection is referenced in section 4.

Standard 10: Prohibition of Illicit Discharges

To the best of our knowledge, there are no existing illicit discharges at the site and the proposed very public nature of the proposed project does not facilitate any type of illicit discharges at the site.

3. Owner and Responsible Party

The owner and responsible part for the operation and maintenance of the park improvements of the Beech Forest Trail Spur and the Route 6 Bike Trail Connector in Provincetown, MA is the following:

Owner:

Cape Cod National Seashore, U.S. Department of Interior

Attn: Lauren McKean, Park Planner

99 Marconi Site Road

Wellfleet, MA 02667

Reachable at telephone number (508)-957-0731.

4. Schedule of Inspection

The proposed bike trails shall be regularly maintained and swept to alleviate siltation and/or debris from entering the infiltration areas.

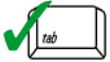
Appendix A - MA DEP Checklist for Stormwater Report



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

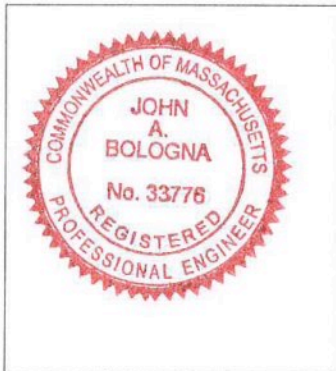
Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature



 2/10/23
Signature and Date

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



Checklist for Stormwater Report

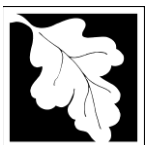
Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): _____

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

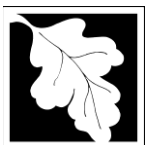
Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

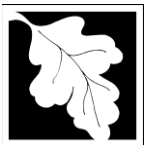
- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
 - Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
 - Redevelopment Project
 - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

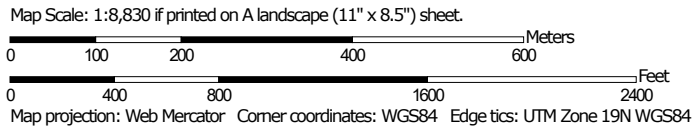
Appendix B - Stormwater Management Log

Appendix C - Soils Map and FEMA Firmette

Soil Map—Barnstable County, Massachusetts



Soil Map may not be valid at this scale.




MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Barnstable County, Massachusetts

Survey Area Data: Version 19, Sep 9, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

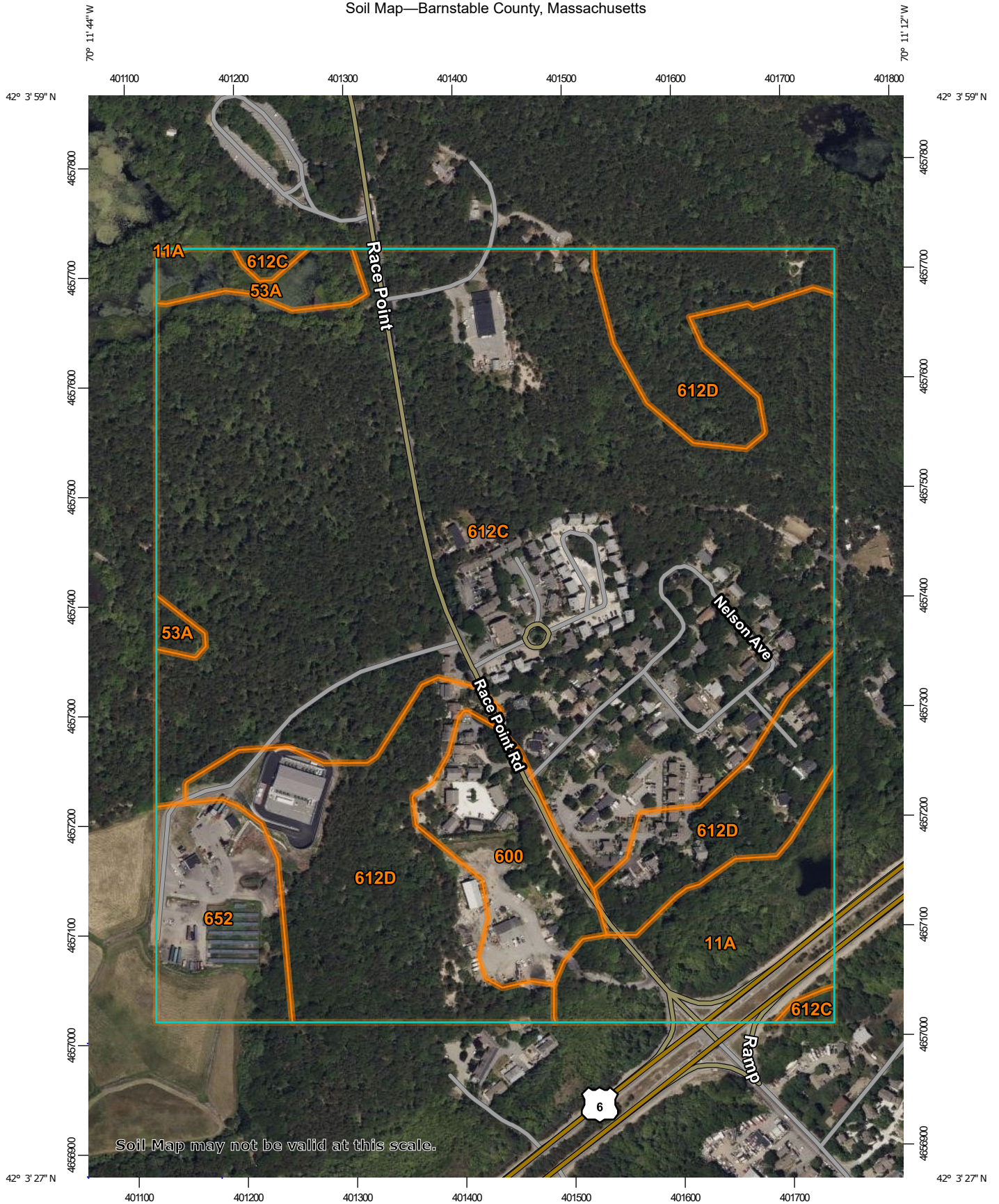
Date(s) aerial images were photographed: Jun 10, 2022—Jun 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

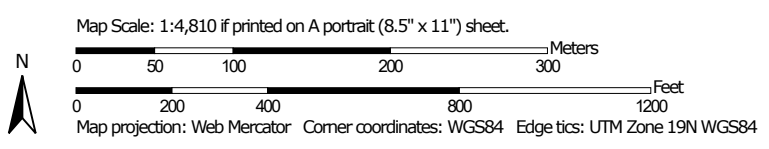
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
1	Water	0.8	0.3%
11A	Berryland mucky loamy coarse sand, 0 to 2 percent slopes	1.8	0.5%
38A	Pipestone loamy coarse sand, 0 to 3 percent slopes	1.9	0.6%
53A	Freetown muck, ponded, coastal lowland, 0 to 1 percent slopes	18.0	5.5%
256A	Deerfield loamy fine sand, 0 to 3 percent slopes	7.3	2.2%
602	Urban land	3.7	1.1%
608	Water, ocean	57.0	17.4%
610	Beaches, sand	15.0	4.6%
612C	Hooksan sand, 3 to 15 percent slopes	87.3	26.7%
612D	Hooksan sand, 15 to 35 percent slopes	61.5	18.8%
613C	Hooksan-Dune land complex, 15 to 35 percent slopes	73.0	22.3%
Totals for Area of Interest		327.4	100.0%

Soil Map—Barnstable County, Massachusetts




Soil Map may not be valid at this scale.



MAP LEGEND

Area of Interest (AOI)

 Area of Interest (AOI)




















Soils





 Soil Map Unit Polygons

 Soil Map Unit Lines


 Soil Map Unit Points

Special Point Features






-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features


Water Features

 Streams and Canals

Transportation

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:25,000.

Warning: Soil Map may not be valid at this scale.
 Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Barnstable County, Massachusetts
 Survey Area Data: Version 19, Sep 9, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 10, 2022—Jun 30, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
11A	Berryland mucky loamy coarse sand, 0 to 2 percent slopes	7.6	7.0%
53A	Freetown muck, ponded, coastal lowland, 0 to 1 percent slopes	2.3	2.1%
600	Pits, sand and gravel	5.6	5.1%
612C	Hooksan sand, 3 to 15 percent slopes	64.7	59.5%
612D	Hooksan sand, 15 to 35 percent slopes	22.9	21.1%
652	Dumps, landfill	5.6	5.1%
Totals for Area of Interest		108.7	100.0%

Barnstable County, Massachusetts

612C—Hooksan sand, 3 to 15 percent slopes

Map Unit Setting

National map unit symbol: 2x1kr

Elevation: 0 to 190 feet

Mean annual precipitation: 40 to 50 inches

Mean annual air temperature: 39 to 55 degrees F

Frost-free period: 195 to 240 days

Farmland classification: Not prime farmland

Map Unit Composition

Hooksan, 3 to 15 percent slopes, and similar soils: 80 percent

Minor components: 20 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Hooksan, 3 To 15 Percent Slopes

Setting

Landform: Dunes

Landform position (two-dimensional): Backslope, shoulder, footslope, summit

Landform position (three-dimensional): Crest, base slope, side slope

Down-slope shape: Convex

Across-slope shape: Convex

Parent material: Sandy eolian deposits

Typical profile

C1 - 0 to 20 inches: sand

C2 - 20 to 30 inches: sand

C3 - 30 to 64 inches: sand

Properties and qualities

Slope: 3 to 15 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Runoff class: Very low

Capacity of the most limiting layer to transmit water (Ksat): Very high (14.17 to 99.90 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: Rare

Frequency of ponding: None

Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)

Available water supply, 0 to 60 inches: Low (about 5.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 7e

Hydrologic Soil Group: A

Ecological site: R149BY002MA - Coastal Dunes
Hydric soil rating: No

Minor Components

Succotash, 3 to 15 percent slopes

Percent of map unit: 8 percent
Landform: Spits, dunes, barrier flats
Landform position (two-dimensional): Toeslope, footslope
Landform position (three-dimensional): Base slope, tread, dip
Down-slope shape: Concave, linear
Across-slope shape: Linear
Ecological site: R149BY012MA - Coastal Backbarrier Dune Flats
Hydric soil rating: No

Sandyhook, 3 to 15 percent slopes

Percent of map unit: 5 percent
Landform: Back-barrier beaches, back-barrier flats
Landform position (three-dimensional): Tread, dip
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: R144AY001CT - Tidal Salt Low Marsh mesic very
frequently flooded, R144AY002CT - Tidal Salt High Marsh
mesic very frequently flooded
Hydric soil rating: Yes

Beaches, 3 to 15 percent slopes

Percent of map unit: 5 percent
Landform: Beaches
Landform position (three-dimensional): Riser
Down-slope shape: Convex
Across-slope shape: Linear
Hydric soil rating: Unranked

Dune land, 3 to 15 percent slopes

Percent of map unit: 2 percent
Landform: Dunes
Landform position (two-dimensional): Backslope, shoulder,
footslope, summit
Landform position (three-dimensional): Side slope, base slope,
crest
Down-slope shape: Convex
Across-slope shape: Convex
Ecological site: R149BY002MA - Coastal Dunes
Hydric soil rating: Unranked

Data Source Information

Soil Survey Area: Barnstable County, Massachusetts
Survey Area Data: Version 19, Sep 9, 2022

Barnstable County, Massachusetts

613C—Hooksan-Dune land complex, 15 to 35 percent slopes

Map Unit Setting

National map unit symbol: 2x1kw

Elevation: 0 to 210 feet

Mean annual precipitation: 36 to 71 inches

Mean annual air temperature: 39 to 55 degrees F

Frost-free period: 140 to 240 days

Farmland classification: Not prime farmland

Map Unit Composition

Hooksan and similar soils: 45 percent

Dune land: 40 percent

Minor components: 15 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Hooksan

Setting

Landform: Dunes

Landform position (two-dimensional): Backslope, shoulder, footslope, summit

Landform position (three-dimensional): Crest, base slope, side slope

Down-slope shape: Convex

Across-slope shape: Linear, convex

Parent material: Sandy eolian deposits

Typical profile

C1 - 0 to 20 inches: sand

C2 - 20 to 30 inches: sand

C3 - 30 to 64 inches: sand

Properties and qualities

Slope: 15 to 35 percent

Depth to restrictive feature: More than 80 inches

Drainage class: Excessively drained

Runoff class: Low

Capacity of the most limiting layer to transmit water (Ksat): Very high (14.17 to 99.90 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: Rare

Frequency of ponding: None

Maximum salinity: Nonsaline (0.0 to 1.9 mmhos/cm)

Available water supply, 0 to 60 inches: Low (about 5.4 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 7e

Hydrologic Soil Group: A
Ecological site: R149BY002MA - Coastal Dunes
Hydric soil rating: No

Description of Dune Land

Setting

Landform: Dunes
Landform position (two-dimensional): Shoulder, footslope, backslope
Landform position (three-dimensional): Side slope, base slope, crest
Down-slope shape: Convex
Across-slope shape: Convex
Parent material: Sandy eolian deposits

Properties and qualities

Slope: 15 to 35 percent
Runoff class: Very low
Frequency of flooding: Rare

Interpretive groups

Land capability classification (irrigated): None specified
Land capability classification (nonirrigated): 8
Hydric soil rating: Unranked

Minor Components

Succotash

Percent of map unit: 7 percent
Landform: Barrier flats, spits, dunes
Landform position (two-dimensional): Toeslope, footslope
Landform position (three-dimensional): Base slope, tread
Down-slope shape: Linear, concave
Across-slope shape: Linear
Hydric soil rating: No

Beaches

Percent of map unit: 5 percent
Landform: Beaches
Landform position (three-dimensional): Riser
Down-slope shape: Convex, linear
Across-slope shape: Linear
Hydric soil rating: Unranked

Matunuck

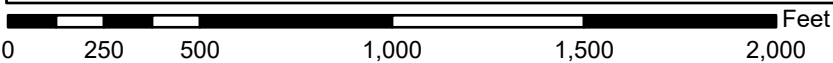
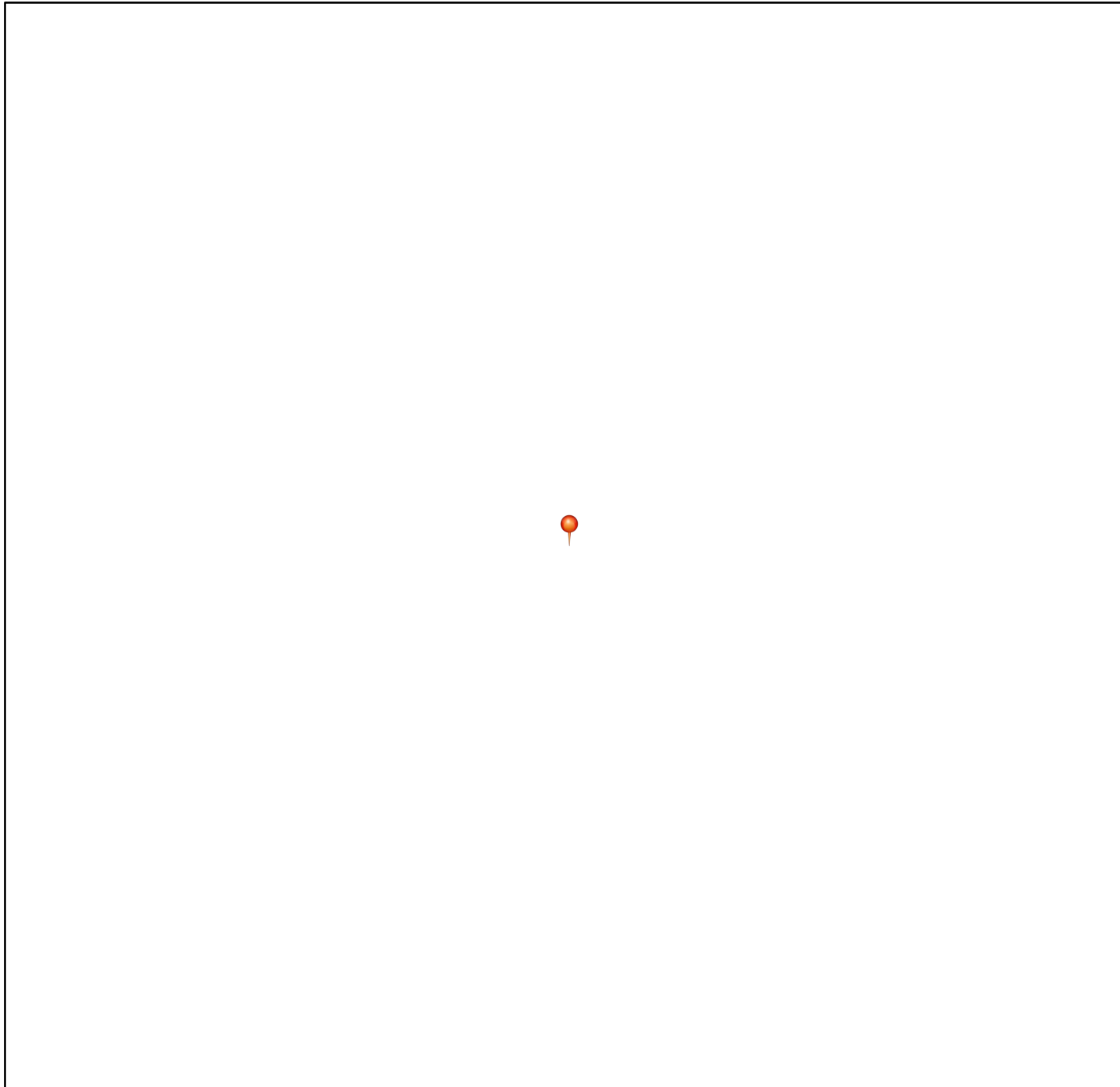
Percent of map unit: 3 percent
Landform: Tidal marshes
Landform position (three-dimensional): Dip
Down-slope shape: Linear
Across-slope shape: Linear
Ecological site: R144AY001CT - Tidal Salt Low Marsh mesic very frequently flooded, R144AY002CT - Tidal Salt High Marsh mesic very frequently flooded

Hydric soil rating: Yes

Data Source Information

Soil Survey Area: Barnstable County, Massachusetts
Survey Area Data: Version 19, Sep 9, 2022

National Flood Hazard Layer FIRMMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth *Zone AE, AO, AH, VE, AR*
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile *Zone X*
- Future Conditions 1% Annual Chance Flood Hazard *Zone X*
- Area with Reduced Flood Risk due to Levee. See Notes. *Zone X*
- Area with Flood Risk due to Levee *Zone D*

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard *Zone X*
- Effective LOMRs
- Area of Undetermined Flood Hazard *Zone D*

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Cross Sections with 1% Annual Chance Water Surface Elevation **17.5**
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

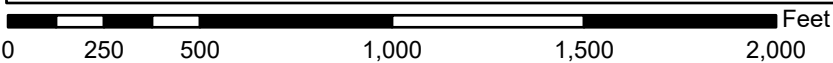
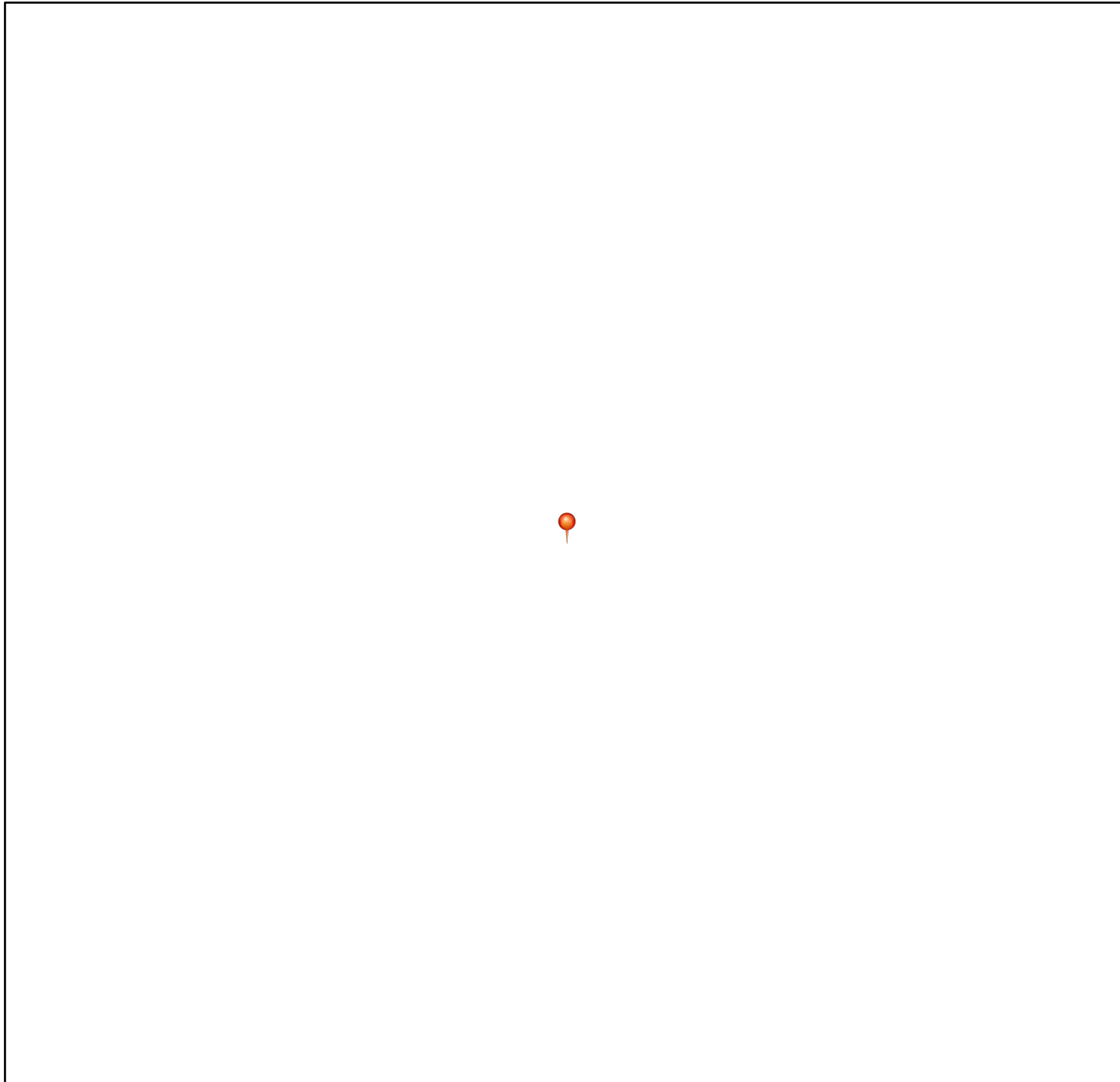


This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on [] and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

National Flood Hazard Layer FIRMMette



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>
		With BFE or Depth <i>Zone AE, AO, AH, VE, AR</i>
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile <i>Zone X</i>
		Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>
		Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i>
		Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard <i>Zone X</i>
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard <i>Zone D</i>
		Channel, Culvert, or Storm Sewer
OTHER FEATURES		Levee, Dike, or Floodwall
		Cross Sections with 1% Annual Chance Water Surface Elevation
MAP PANELS		17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
		Profile Baseline
	Hydrographic Feature	
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



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